

# Dawson Creek Official Community Plan

## Bylaw No. 4042 Consolidated Version



Revised June 2010  
Consolidated Version for Convenience Only  
Amendment Bylaw 4061, 2010 incorporated

Copies of this Bylaw may be viewed on the website: [www.dawsoncreek.ca](http://www.dawsoncreek.ca)

Or at:

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V1G 4G4

*This OCP was prepared by HB Lanarc Consultants in 2009 with Dawson Creek City staff.  
Other contributors included Eberle Planning & Research and GP Rollo & Associates.*

# Dawson Creek Official Community Plan

## Bylaw No. 4042

**READ** a first time this 16<sup>th</sup> day of November, 2009.

**READ** a second time  
this 16<sup>th</sup> day of November, 2009.

**PUBLIC CONSULTATION** held throughout the community October 21, 2009 to November 30, 2009.

**ADVERTISED** this 23<sup>rd</sup> & 24<sup>th</sup> day of November, 2009.

**PUBLIC HEARING** held this 30<sup>th</sup> day of November, 2009.

**READ** a third time this 30<sup>th</sup> day of November, 2009.

**ADOPTED** this 30<sup>th</sup> day of November, 2009.

**CERTIFIED A TRUE AND CORRECT COPY** of  
Bylaw No. 4042 cited as the "CITY OF  
DAWSON CREEK OFFICIAL COMMUNITY  
PLAN BYLAW NO. 4042, 2009".

**ORIGINAL SIGNED BY**

Brenda Ginter  
Corporate Administrator

The Corporate Seal of **THE CORPORATION  
OF THE CITY OF DAWSON CREEK** was  
affixed in the presence of:

**ORIGINAL SIGNED BY**

Mike Bernier – Mayor

**ORIGINAL SIGNED BY**

Brenda Ginter – Corporate Administrator

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# PART I

## PLANNING FOR PEOPLE: A SUSTAINABLE DAWSON CREEK

**Part 1** describes the community's vision  
and goals for Dawson Creek.

Part 1 also describes how an Official  
Community Plan will help the City reach its  
sustainability goals.



## 1.0 COMMUNITY VISION & GOALS

*Dawson Creek, located in the fertile rolling hills of the Peace River Country, is a community that enjoys both a rural character and urban amenities.*

*This Official Community Plan expresses a vision for a healthy, walking community with a strong and vibrant downtown heart. This includes a well-designed network that integrates open space and pedestrian connections, and links a lively downtown to green, affordable, and family-friendly neighbourhoods.*

*Citizens and visitors will choose to experience the city on foot, via beautiful streets and along the Dawson Creek trail system, which is an important public amenity and 'green ribbon' through the community.*

The Official Community Plan (OCP) vision supports the larger corporate vision for City of Dawson Creek that was developed by City Council and staff in 2003. This corporate vision states that:

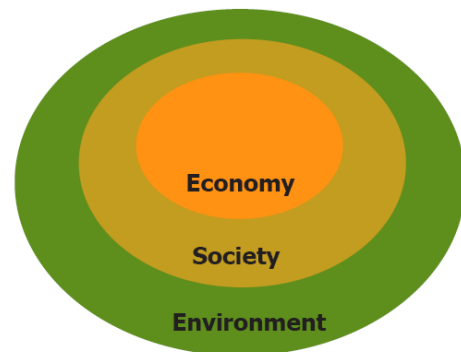
*"Dawson Creek will be a visionary community that works together for innovative social, cultural, economic, and environmental vitality."*

# Goals

Extending from this vision and additional sustainability planning efforts, 10 goals were developed with Council and staff, and through consultation with the community.

1. Create a compact, complete community.
2. Develop an environmentally friendly, community-oriented transportation system.
3. Increase energy-efficiency and the use of renewable energy<sup>1</sup>.
4. Use water responsibly and efficiently to ensure a clean and sustainable supply.
5. Re-use resources and decrease waste.
6. Enhance green space to support both community and ecological uses.
7. Encourage vibrant arts and culture.
8. Foster social well-being through health, housing, and education.
9. Ensure participation in an open and accountable government.
10. Foster economic development that supports the community's goals.

These goals are the foundation for policy in this OCP.



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## What is Sustainability?

*Sustainability involves understanding the relationship between and embeddedness of environmental, social (including cultural) and economic realms.*

*A cornerstone of sustainability is resilience, which refers to the capacity of a community to undergo change and still retain its quality of life, and basic function and structure. This requires communities to proactively plan for change and uncertainty. It promotes self-sufficiency, equity, shared responsibility, and good governance.*

*An increasing number of communities in Canada are adopting a sustainability approach when undertaking community planning projects, and the City of Dawson Creek is at the forefront of this work.*

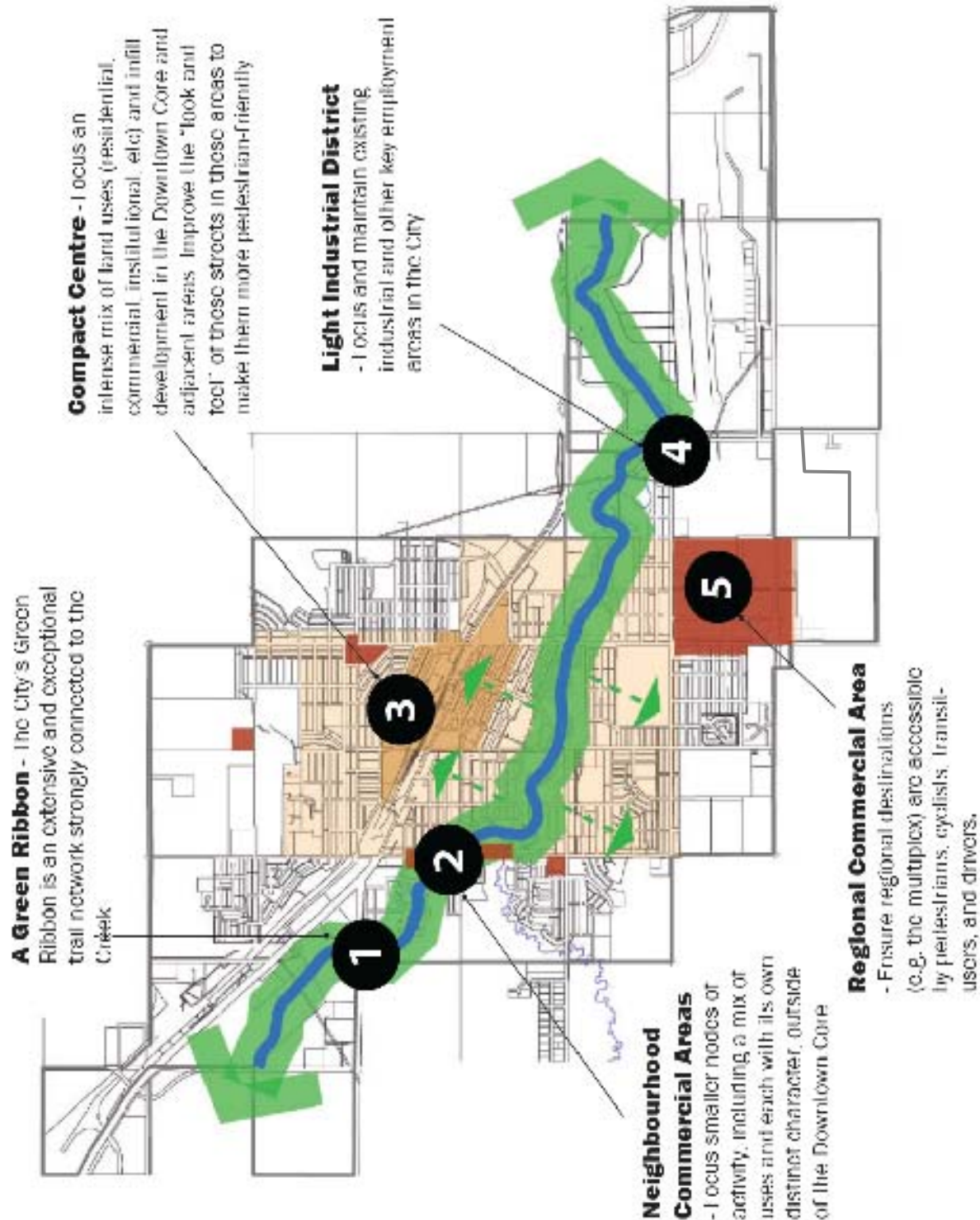
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<sup>1</sup>This particular goal is achieved through buildings, infrastructure and renewable energy, and meets the requirements laid out in *Bill 27* for municipalities to include greenhouse gas emission targets, policies, and actions in Official Community Plans.

## SCHEDULE 'A' TO BYLAW 4061

### Map1 – Sustainable Development Concept

The following illustrates an overall concept and areas of focus for Dawson Creek over the life of this Official Community Plan, as reflected in the Policies and Development Permit Guidelines contained in the bylaw.







## 2.0 OFFICIAL COMMUNITY PLAN

An Official Community Plan (OCP) includes:

- A Land Use Plan,
- Objectives and Policies, and
- Development Permit Area guidelines.

The OCP helps a community realize its vision. It reflects ideas and input of residents, stakeholders, professionals and staff that participated in the preparation of the OCP and related planning processes.

The OCP outlines integration of land use, economy, environment, and transportation, as well as aspects of energy, infrastructure, open space, arts and culture, community facilities and services, and the food system. An OCP is essential in assisting communities in organizing responses to global, regional, and local challenges such as climate change and the changing realities of economic stability and resource availability.

The *Local Government Act* requires the OCP to include:

- A vision that reflects community objectives and strategies;
- Land use concepts for how, where, and what types of development will occur;
- Identification and connection of parks and protected areas;

- Efficient, serviceable and financially feasible transportation systems that reduce air quality impacts and greenhouse gas emissions;
- A wide variety of housing strategies to accommodate needs of all residents (including affordable housing);
- Approximate location and area of sand and gravel deposits suitable for future extraction;
- Restrictions on use of land subject to hazardous conditions or environmentally sensitive factors;
- Approximate location and phasing of major road, sewer and water systems;
- Regional context statements that detail how the Regional Growth Strategy will be administered and implemented locally;
- Policies respecting maintenance and enhancement of farming in a farming area or area designated for agricultural use in the community plan, and;
- Policies relating to the preservation, protection, restoration and enhancement of the natural environment, and its ecosystems and biological diversity.

While all bylaws enacted or works undertaken by a Council after the adoption of an OCP must be consistent with the Plan, it does not rule out amendments based on changing circumstances.



## Related Planning Initiatives

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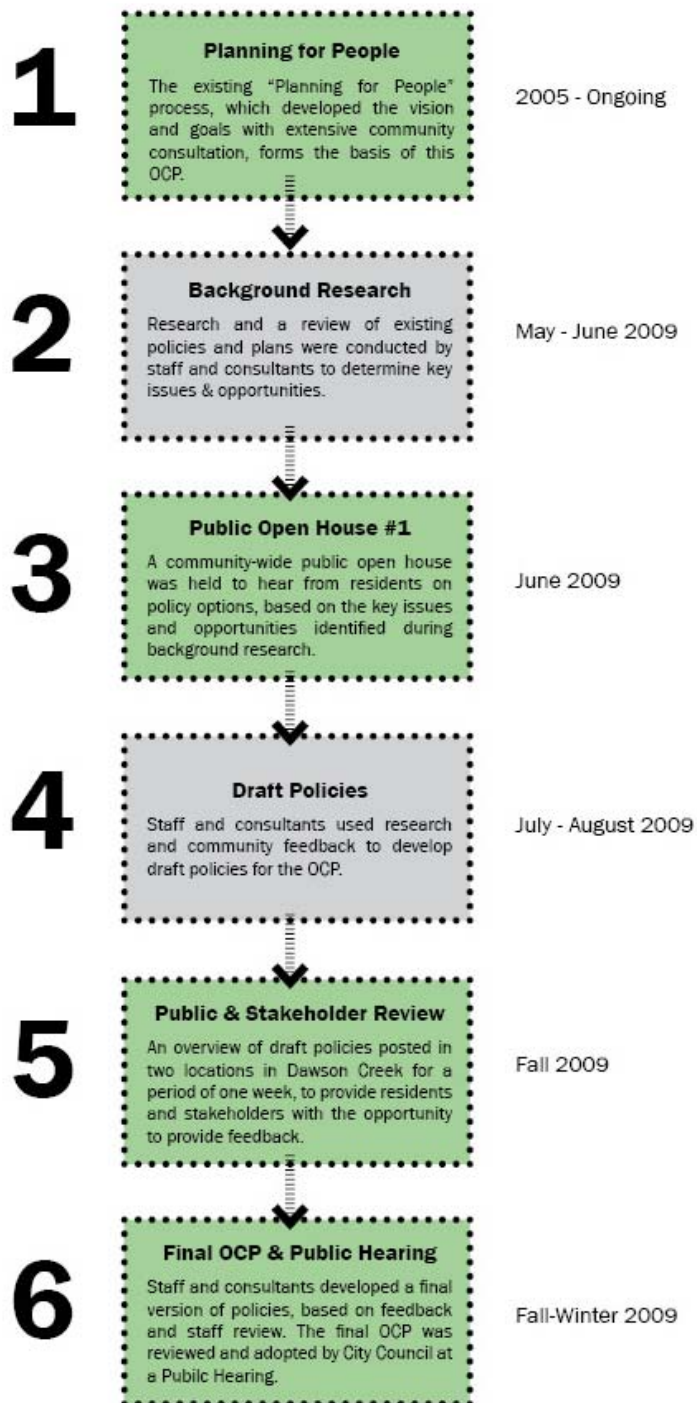
The City of Dawson Creek has undertaken a long list of planning-related initiatives that has informed the development of this Official Community Plan.

These include:

- Climate Action Plan (2008) and related energy planning initiatives;
- Social Plan (2008);
- Safer City Project (2008);
- Sustainability Baseline Assessment (2007);
- Harvest View – Sunset Ridge Neighbourhood Plan (2007);
- Parks and Recreation Master Plan (2006);
- Economic Development Goals (2006);
- Communications Plan (2005) and related Downtown revitalization initiatives;
- Measuring Up The North (2009);
- Planning for Youth (2007).

# Planning Process

The following diagram outlines the 6 major steps in the review and drafting of this OCP.



# PART II

## COMMUNITY OBJECTIVES & POLICIES

Part 2 describes over arching strategies, objectives, and policies for:

- land use and development;
  - buildings;
  - energy;
  - housing;
  - infrastructure;
  - transportation;
- environmental protection and open space;
  - agriculture and the food system;
    - arts, culture and heritage;
    - health and safety;
  - economic development; and
  - inter-jurisdictional planning.

It is through these policies that the vision and goals for Dawson Creek move toward being realized.



## 3.0 Community Land Use & Growth Management

The City will prioritize revitalization and infill, and limit peripheral development to select and appropriate areas of the City.

### Why is this important?

Sustainable land use and growth means promoting compact and mixed-use development. This involves locating residential areas near stores, jobs, schools and recreational amenities. This gives people with more opportunities and incentives to walk or bike, and encourages development densities needed to support better public transit. This type of growth is less expensive to taxpayers because the cost of servicing compact communities is lower than the cost of serving low-density communities.

### Dawson Creek Trends

- Residential (70% single family) and commercial (often auto-oriented) uses account for the majority of land use.
- There is a minimal amount of commercial uses designated in or beside residential land uses. This makes it difficult for residents to meet their daily needs without having to drive to services.

- The City has enough park space, however the City needs to ensure that the parks continue to serve the needs of the local community.
- The City has an over-supply of ‘development reserve’ lands, all located at the edge of the City’s boundary. These lands can accommodate approximately 3,000 new residential units. This accounts for the next 55 years of development at the City’s current growth rate (45 new units/year).
- The majority of growth and development in both residential and commercial land use over the last five years has been at the edge of the City’s boundary. This type of development is of greater expense to the City for servicing costs, and strains businesses located in the City’s central business area because it reduces the number of shoppers in the downtown core.
- There is a healthy supply of industrial lands in the City. These areas could be better utilized.
- There is an oversupply of commercial lands relative to the City’s population. However, some commercial areas are considered ‘regional serving’.

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*The policies in this section help deliver on the community’s goals, in particular: A Compact, Complete Community*

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## City’s Role

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The City is required under the *Local Government Act* to regulate present and proposed land uses and areas subject to hazardous conditions or that are environmentally sensitive to development.

Through management of land use, the City manages future growth. This OCP marks a shift in the City’s strategy for future land use and growth in order to realize the sustainability goals of the community. The City can encourage and discourage growth in specific areas through changes in policy, zoning, and incentive programs.



# Growth Management Objective and Policies

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**Objective 3.1:** Develop a more compact complete community that uses the City's infrastructure more efficiently.

**Policy 3.1.1:** The pattern of proposed land use in the City of Dawson Creek as shown on the "Community Land Use" map and based on the following land use designations.

- .1 Mixed Use
- .2 Residential
- .4 Neighbourhood Commercial
- .5 Service Commercial
- .6 Civic & Institutional
- .7 Parks & Natural Areas
- .8 Light Industrial
- .9 Heavy Industrial
- .10 Development Reserve
- .11 Agricultural

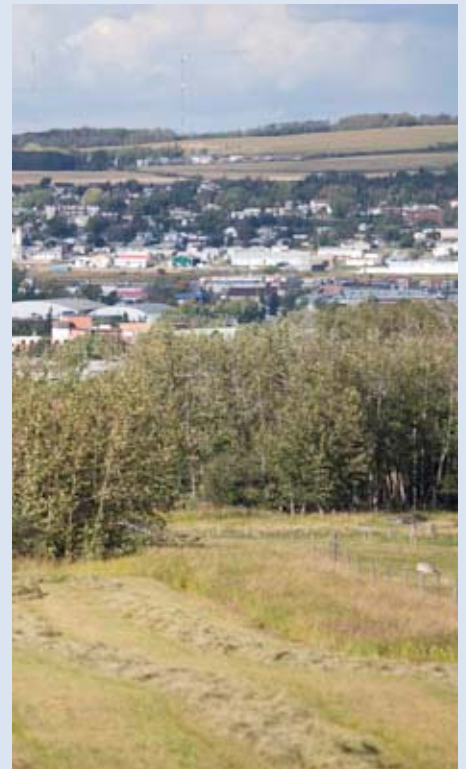
**Policy 3.1.2:** A new *Intended Infill/Redevelopment Area* will be established, as shown in Map 2 to define areas where growth and redevelopment are to be encouraged.

**Policy 3.1.3:** Allow for higher densities and lower Development Cost Charges in areas outlined as *Intended Infill/Redevelopment Area* in Map 2. All other areas shall proceed in a logical, sequential order, concurrent with availability of required servicing and standard Development Cost Charges based on type of use.

**Policy 3.1.4:** Promote sensitive infill of existing residential parcels over new residential development on raw land.

**Policy 3.1.5:** All development applications are required to address the following aspects:

- location and type of various land uses; and
- building heights and land use densities.



Sensitive infill development helps contribute to a walkable, more transit-friendly community, reduces costs to the City for maintenance of new infrastructure, and saves farmland.

They are also required to be consistent with applicable Development Permit Area Guidelines (Part IV: Development Permit Areas & Guidelines) with respect to:

- building design;
- location and extent of landscaping, park areas and pedestrian connections;
- relationships with adjacent uses;
- roads, access points, parking and traffic circulation.

**Objective 3.2: Ensure efficient processing of development applications.**

**Policy 3.2.1:** Prioritize and provide efficient processing of those development applications that are consistent with future land uses, policies and/or Development Permit Areas Guidelines as outlined in this Official Community Plan.

**Policy 3.2.2:** Evaluate new development applications that require an OCP amendment based on compliance with OCP objectives and the Sustainability Checklist (see Part III: Implementation).

## Mixed-Use Objectives and Policies

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**Objective 3.3: Encourage and allow for the development of mixed use projects.**

**Policy 3.3.1:** Subject to other policies in this OCP, a full range of residential, commercial, park and mixed-use is permitted in the area designated as mixed-use in Map 2.

**Policy 3.3.2:** Permit the adaptive re-use of heritage and other buildings in the City's centre to mixed use developments.

**Policy 3.3.3:** At the street level, uses are required to emphasize employment generating uses (such as retail, office, cultural, service, entertainment and/or institutional development) in mixed use buildings within the City centre and along major corridors including 10th Street and 102nd Avenue.

**Policy 3.3.4:** Where appropriate (for example, near Northern Lights College or beside existing light industrial areas, etc.), re-developments are required to include a residential component in the form of creative or innovative infill housing (such as live-work studio or flex housing, student housing, or short term rental housing) in mixed use buildings or separate residential buildings, such as a coach house.

**Policy 3.3.5:** To strengthen the existing downtown core area, promote the development of major retail, office, entertainment and cultural facilities in the core or areas located north of Alaska Avenue to the extent shown on Map 2.

**Policy 3.3.6:** Promote office buildings providing more than 929 m<sup>2</sup> (10,000 sq. ft.) of leasable space to locate in the downtown. Allow for a portion or all of the required parking to be fulfilled with on-street parking.



Mixed use development contributes to a walkable community because it allows residents to meet their daily needs on foot, bicycle, or transit. It also increases a sense of place and creates employment opportunities.

## Residential Objectives and Policies

**Objective 3.4:** Allow sensitive integration of different housing forms in all designated residential areas to promote neighbourhood diversity and inclusive communities.

**Policy 3.4.1:** Within designated residential areas that are primarily single-family detached neighbourhoods and that fall within the outlined *Infill/Redevelopment Area* as designated in Map 2, the following building types are permitted:

- a. single family residential with secondary suites (minimum lot size of 20m x 40m, 15-20 units per ha (6-8 u.p.a);
- b. smaller lot sizes for small single family residential (minimum lot size of 10mx30m, 15-20 units per ha (6-8 u.p.a);
- c. duplex and tri-plex ground-oriented multi-family housing (2-3 units) (minimum lot size of 15m x 35m, 25-35 units per ha (10-14 u.p.a);
- d. townhouse or row house style housing 35 units per ha (14 u.p.a).



**Policy 3.4.2:** Within designated residential areas that already have multi-family units and that fall within the outlined *Infill/Redevelopment* area as designated in Map 2, the following building types are permitted:

- a. smaller lot sizes for small single family residential (minimum lot size of 10m x 30m, 15-20 units per ha (6-8 u.p.a);
- b. single family residential with secondary suites (minimum lot size of 20m x 40m, 15-20 units per ha (6-8 u.p.a),
- c. duplex and tri-plex ground-oriented multi-family housing (2-3 units) (minimum lot size of 15m x 35m, 25 – 35 units per ha (10-14 u.p.a);
- d. townhouse or row house style housing 35 units per ha (14 u.p.a);
- e. 4 storey building; 125 units per ha (50 u.p.a.);
- f. coach housing, following a City review and development of zoning regulations.

**Policy 3.4.3:** Ensure all redeveloped infill housing:

- a. compliments general scale, use and character of adjacent existing development at the street level;
- b. ensures existing private outdoor spaces are respected;
- c. has a full range of municipal services that are adequately provided;
- d. has local community facilities including schools that can accommodate the scale of development;
- e. provides traffic studies that indicate minimal negative impact.

**Objective 3.5:** Focus new residential development and ensure that it provides a mix of uses at a density that supports efficient use of City infrastructure and services.

**Policy 3.5.1:** A minimum residential density threshold for new development within neighbourhood centres, along major corridors, and in the City centre is encouraged to support viable transit service.

The following transit frequency goals will guide minimum density thresholds:

- **Neighbourhood Centres** – 15 – 20 units per ha (6 - 8 u.p.a) to support 30 min transit service (e.g. small lot single-detached houses and townhouses);



Housing diversity, including medium to higher densities, help create inclusive, walkable communities.

- **Along Major Corridors** – 22 – 40 units per ha (9-16 u.p.a) to support 20 min transit service (e.g. townhouse and some small apartments);
- **Downtown/City Centre** - >40 units per ha to support 10 min transit service (e.g. apartments and townhouses).

**Policy 3.5.2:** High density multiple family developments (greater than 90 units per hectare) will be limited to areas located close to the commercial core, identified neighbourhood commercial centres and along transit routes.

**Policy 3.5.3:** Ensure undeveloped areas designated for future residential development provide for a range of housing types, including:

- a. Single family homes with secondary suites or coach homes;
- b. Small lot single family homes;
- c. Townhouse, duplex, and triplex housing; and
- d. Mixed use and four-storey residential.

**Policy 3.5.4:** To provide for a range of housing choices, allow development of manufactured/mobile home parks in areas designated as residential subject to the following criteria:

- a. the full range of municipal services can be provided; and
- b. proposed development is compatible with adjoining uses in terms of use, scale, density.

**Policy 3.5.5:** Council supports the development of "adult living" communities based on the following criteria:

- a. the community has adequate support facilities, such as intermediate and extended care;
- b. a full range of municipal services is provided; and
- c. proposed development is compatible with adjoining uses in terms of use, scale, density.



Small-scale neighbourhood commercial uses allow residents to meet some of their daily needs on foot, and help foster a sense of community as they increases opportunities for social interaction.

## Neighbourhood Commercial Objectives and Policies

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**Objective 3.6:** Meet some of the daily needs of residents within a 5-10min walk of their homes.

**Policy 3.6.1:** Local commercial uses in residential areas will be designated as shown in Map 2 and based on the following criteria:

- a. limited in scale (establishment does not exceed 1,000m<sup>2</sup> (10,000sq.ft.))
- b. local serving retail or personal service uses that meet daily needs of residents.

**Policy 3.6.2:** Where possible, promote the infill and redevelopment of existing commercial parcels within designated neighbourhood commercial areas before developing new ones.

## Service Commercial Objectives and Policies

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**Objective 3.7:** Limit and focus service commercial development along existing commercial corridors and within areas already developed as auto-oriented retail.

**Policy 3.7.1:** The full range of commercial land uses is permitted in the area designated as Service Commercial on Map 2 subject to the policies contained in this section.

**Policy 3.7.2:** Highway oriented service commercial uses will be permitted within existing commercial areas along the Alaska Highway, the John Hart Highway, Highway No. 2 and 8th Street as shown on Map 2. If there are no suitable designated or zoned commercial sites available, other sites may be considered by Council provided the sites as shown in the City's *Servicing Plan* as being provided with full urban services, including sanitary sewer within the OCP's time horizon.

**Policy 3.7.3:** New commercial and mixed use buildings will be permitted and encouraged as infill developments within excess parking areas of service commercial areas.



Commercial ventures that promote local tourism is consistent with ongoing economic development efforts in Dawson Creek and the region.

**Objective 3.8: Ensure commercial developments are accessible.**

**Policy 3.8.1:** New service commercial developments shall ensure adequate accessibility for vehicles, transit, pedestrians, and cyclists.

**Objective 3.9: Encourage commercial ventures that promote local tourism.**

**Policy 3.9.1:** Promote commercial development for tourism related uses to locate in the downtown, within a 10 minute walking distance to downtown or just north of downtown adjacent to Northern Alberta Railway Park.

**Policy 3.9.2:** Ensure new large scale visitor accommodation is located adjacent to adequate commercial services. Promote the location of boutique hotels or other smaller accommodation in the downtown or just north of downtown adjacent to Northern Alberta Railway Park.

## **Service Industrial Objectives and Policies**

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**Objective 3.10: Maintain and encourage light industrial uses within the City as key employment nodes.**

**Policy 3.10.1:** The development of light industrial (service industrial) land uses will be designated as shown on Map 2. Specifically, promote future light industrial development to locate:

- a. in the area north of the exhibition grounds;
- b. in the Heritage Industrial Park; and
- c. in the Airport industrial Park.

**Policy 3.10.2:** Discourage the Regional District from allowing any noxious industries on the western boundary of the City, since the prevailing winds would blow emissions onto the City.

**Objective 3.11:** Create smaller, more compact light industrial ‘districts’ within the City for light manufacturing, research, studio space, and business office uses.

**Policy 3.11.1:** Encourage more intensive light industrial use of currently under-utilized industrial sites during site redevelopment or by permitting lot subdivision or amalgamation of lots.

**Policy 3.11.2:** Infill of existing industrial areas will be encouraged before creating new, undeveloped industrial areas except where land trade or sale would promote more desirable compact light industrial centre locations.

**Policy 3.11.3:** Encourage the provision of business centres that incorporate a mix of research, light manufacturing and business office uses. Centres are required to incorporate pedestrian friendly pathways and landscaped areas.

## Heavy Industrial Objectives and Policies

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**Objective 3.12:** Maintain and encourage heavy industrial uses within the municipal boundaries in locations that do not adversely affect adjacent land uses and the City’s overall air quality.

**Policy 3.12.1:** The development of heavy industrial uses will be designated to the extent and locations identified in Map 2.

**Policy 3.12.2:** Industrial areas are required to have the full range of municipal services, and developers must pay for upgrading and extension of the services required for new industrial developments. Alternatively, Council may consider self-contained systems. For example, the City may permit septic tanks in some areas subject to approval by the appropriate health authority.

**Policy 3.12.3:** Access to new industrial developments will not be routed through residential areas.

## Civic / Institutional Objectives and Policies

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**Objective 3.13:** Maintain and enhance civic and institutional uses within the City.

**Policy 3.13.1:** The development of civic or institutional uses will be designated to the extent and locations as shown in Map 2.

**Policy 3.13.2:** Promote major government offices and cultural facilities to locate in the central downtown core.

**Policy 3.13.3:** Ensure co-ordination in the acquisition of land for the development of school facilities. Liaise with School District officials so that the acquisition of parkland adjacent to school facilities is achieved in each quarter section.

**Policy 3.13.4:** Maintain the existing level of service for fire protection and upgrade facilities as required.

**Policy 3.13.5:** Residential developers will be required to dedicate 5% of the land, or negotiate cash-in-lieu, for future school sites once the City and the School Board have entered into an agreement respecting the provision of land or payments for school sites.

**Policy 3.13.6:** All new civic and institutional facilities are required to ensure waste reduction, recycling and reuse programs are in place to eliminate or delay the need for expansion of existing sanitary landfills.



Civic and institutional uses and buildings serve as important anchors in the downtown.

## Park & Recreational Uses – Objectives & Policies

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**Objective 3.14:** Ensure efficient use and balanced distribution of park and recreational uses across the City to meet resident's needs.

**Policy 3.14.1:** The development of parks and recreational uses throughout the City will be designated to the extent and locations as shown on Map 2.



**Policy 3.14.2:** Ensure continued acquisition of land along the banks of Dawson Creek with the objective of obtaining land along the entire length of the Creek within the City boundary for the establishment of a connected green ribbon across the City.

**Policy 3.14.3:** Ensure fair geographic distribution of neighbourhood, community, and City-wide park facilities. Park and recreational needs should be accessed through an analysis of population demographics, geographic location, walkability, existing park lands and recreation needs of the community.

**Policy 3.14.4:** Establish partnerships with recreational facilities owned and/or operated by other agencies including the School District; cooperate in funding and sharing of recreation facilities where feasible and appropriate. Use Joint agreements to define development, maintenance and operating arrangements for recreation facilities

**Policy 3.14.5:** Ensure all new park acquisition maximizes opportunities for programming (events, interpretative, recreational services, etc.) and in particular, those programming aspects that are related to, or support, existing adjacent uses.

**Policy 3.14.6:** Use existing City-owned property, including land trade or sale for equivalent purchase (no net loss) of park lands that expand existing park areas or create more logical boundaries in more logical locations.

**Policy 3.14.7:** Park lands can be acquired by purchase, grants, conservation easements, development fees and conditions of approval of new subdivision projects, where feasible, to provide additional park and recreation lands and facilities, as recommended by the Parks Department or as identified in a neighbourhood plan.

**Policy 3.14.8:** Ensure that all park acquisitions are accessible to all residents, and do not discriminate or exclude socially disadvantaged, the handicapped and elderly.

**Policy 3.14.9:** Broaden the definition of park lands to include corridor lands, easements, pocket parks, flex-parking spaces, community gardens, traffic circles, boulevards, roof tops, and possibly others.



The banks of Dawson Creek will be an important part of the connected green ribbon across the City, which will aim to increase walking and cycling as both modes of transportation and recreational activities.

## Development Reserve Uses – Objectives & Policies

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**Objective 3.15:** Ensure adequate reserve lands for future growth in Dawson Creek.

**Policy 3.15.1:** Development reserve lands will be designated to the extent, uses and locations as shown on Map 2 and providing approval by the Agricultural Land Commission (if the land is currently designated as Agricultural Land Reserve).

**Policy 3.15.2:** The City will only consider development applications in Development Reserve Areas for non-market affordable and/or special needs housing, or if it can be demonstrated that there is no available land within existing designated areas.

## Agricultural Uses – Objectives & Policies

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**Objective 3.16:** Protect existing agricultural uses, particularly those in the Agricultural Land Reserve (ALR).

**Policy 3.16.1:** Agricultural uses throughout the City will be designated to the extent and locations as shown on Map 2.

**Policy 3.16.2:** Encourage and support agricultural uses on ALR lands within and adjacent to the City boundary.

**Policy 3.16.3:** Discourage unnecessary extension of urban areas into agricultural lands by discouraging ALR exclusion applications.

**Objective 3.17:** Collaborate with the Agricultural Land Commission (ALC) to support shared goals.

**Policy 3.17.1:** Collaborate with the ALC to ensure development of ALR land designated for future residential, commercial, and industrial uses occurs in an incremental, orderly manner.



**Policy 3.17.2:** Ensure agriculture is integrated with development at the City's edge such that they are mutually-beneficial. Integration considerations include land uses, design strategies, and programs to increase the visibility and experience of urban and regional food systems for residents.

**Policy 3.17.3:** Collaborate with the ALC to ensure that the interface between urban and farm areas does not result in excessive trespass or complaints. Urban/rural interface design policies might include, but are not limited to, transitional densities, fencing, residential building setbacks, and vegetative buffering.

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*Aspects of a well-integrated edge may include:*

- *Food and beverage retail and wholesale;*
  - *The processing and storage of agricultural products;*
  - *Institutions and educational opportunities around food and agriculture;*
  - *Architectural and landscape design that celebrates food and agriculture; and*
  - *A diversity of programming around food.*
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# CITY OF DAWSON CREEK

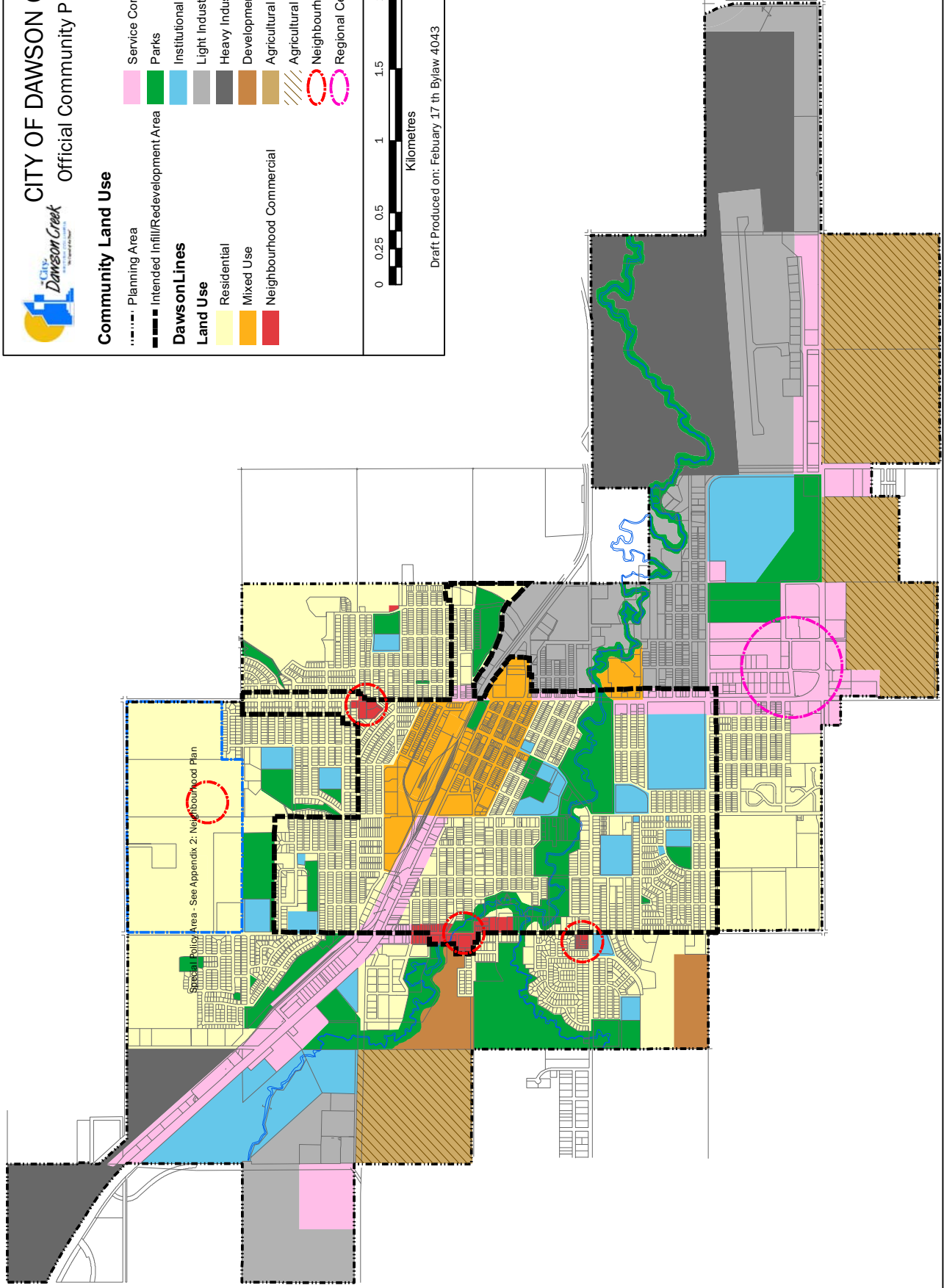
## Official Community Plan

### Community Land Use

- Planning Area
- Intended Infill/Redevelopment Area
- DawsonLines
- Land Use
  - Residential
  - Mixed Use
  - Neighbourhood Commercial
  - Service Commercial
  - Parks
  - Institutional
  - Light Industrial
  - Heavy Industrial
  - Development Reserve
  - Agricultural
  - Agricultural Land Reserve
  - Neighbourhood Centre
  - Regional Centre



Draft Produced on: February 17 th Bylaw 4043



## 4.0 Building Performance & Renewable Energy

The City of Dawson Creek will position itself as a true innovator in its promotion of green building practices and use of renewable energy to increase livability and move toward its greenhouse gas emission targets.



### Why is this important?

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Buildings have a major impact on a community's greenhouse gas emissions and overall sustainability, including human health. In North America, buildings account for about 40% of total energy use and resultant carbon dioxide, nearly 70% of electricity consumption, and over 10% of water consumption.

Sustainable or green buildings reduce environmental impacts through their design, construction, and operation, as well as their site development and landscaping. Renewable energy generation and use is a very important way to reduce building emissions and is a major priority for Dawson Creek.

## Dawson Creek Trends

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- Buildings account for nearly 50% of greenhouse gas emissions in Dawson Creek, with residential building contributing 24%, commercial buildings 23%, and industrial buildings 4% of total greenhouse gas emissions.
- The City has already taken a strong leadership role on energy and climate change planning. This includes a commitment to reduce greenhouse gas emissions caused by buildings, infrastructure, and transportation by 85% by 2050. The City supports renewable energy generation, and has set important targets that will require increased building performance.
- Dawson Creek has been named as a “solar community” by the BC Sustainable Energy Association due to its commitment to, and implementation of, solar technologies.
- Through this OCP, privately-owned small wind turbines are encouraged since they are non-polluting, help reduce fossil fuel consumption and electrical demand. Small wind turbines are *substantially different* from commercial wind farms as they are designed to supply power for the owner and not for the public grid. Large turbines and wind farms intended to sell energy directly to power companies or retail users are regulated by the Province and/or other utility providers.
- Through this OCP, micro-scale solar energy systems (such as photovoltaic systems and solar hot water collectors) and design strategies that seek to capture energy from the sun are encouraged.
- Residential water consumption is less than the provincial average, however it is important to maintain and improve on this trend given Dawson Creek’s semi-arid environment.

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*The policies in this section help deliver on the community’s goals, in particular:*

- *Increase energy efficiency and the use of renewable energy, and use water responsibly and efficiently to ensure a clean and sustainable supply.*
- 

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*Examples of incentives the City could consider:*

- *Prioritize green building and development permits*
  - *Relax development standards, such as height and parking restrictions*
  - *Provide partial or full property tax exemptions*
-

## City Role

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While the Province of British Columbia has jurisdiction over buildings, municipalities are now required through legislation (i.e. *Bill 27*) to include targets, policies, and actions in their Official Community Plans to reduce greenhouse gas emissions.

While municipalities cannot regulate building performance, the City of Dawson Creek can encourage and regulate energy and water efficiency through regulation of land development, and site and neighbourhood design. It can also encourage green buildings and the use of renewable energy through Development Permit Guidelines, incentives, programs, and partnerships.

# Objectives & Policies

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**Objective 4.1:** Reduce greenhouse gas emissions generated by buildings to meet greenhouse gas emission targets.

**Policy 4.1.1:** Ensure all operations, planning processes, initiatives and decisions move the City of Dawson Creek's greenhouse gas emission levels toward the following targets:

- 14% below 2006 levels by 2012
- 33% below 2006 levels by 2020
- 85% below 2006 levels by 2050

**Objective 4.2:** Increase capacity for retrofits, renewable energy development, and green building innovation.

**Policy 4.2.1:** Promote the development and implementation of alternative financing strategies and mechanisms to address financial barriers associated with additional costs for green buildings, energy efficiency, and/or use of renewable energy. Options include, but are not limited to:

- Municipal financing of incremental costs of green building and/or energy efficient measures on a cost recovery basis;
- Fostering the development of energy efficient mortgages with local mortgage lenders;
- Establishing a revolving loan fund to provide grants and loans for undertaking special projects to advance significant emission reduction results and/or green buildings; and
- Fostering the development of strata energy mortgages to finance high performance, energy efficient equipment and materials.

**Policy 4.2.2:** Target and leverage municipal programs and incentives by matching them with provincial and federal programs and incentives, where feasible.



Encouraging innovation in the renewable energy sector helps Dawson Creek meet its greenhouse gas targets, and also creates jobs.



**Policy 4.2.3:** Develop educational material and provide workshops to home owners and industry groups including developers and realtors to increase uptake of existing programs, incentives, and green building opportunities.

**Objective 4.3:** Improve the energy efficiency and environmental performance of existing buildings through retrofits or redevelopment.

**Policy 4.3.1:** Apply Local Improvement Charges (LIC) to finance the capital costs of renewable energy features and energy conservation measures to buildings for recovery of costs.

**Policy 4.3.2:** Pursue partnership opportunities to create a retrofit demonstration project.

**Objective 4.4:** Improve energy efficiency and green building development for new buildings.

**Policy 4.4.1:** Ensure all new buildings are “future proofed” to provide possible future solar technologies, including solar hot water heaters and photovoltaic systems.

**Policy 4.4.2:** Investigate opportunities to consolidate and strategically dispose of City-owned lands, and include green building requirements in Sales Agreements with purchasers.

**Policy 4.4.3:** Pursue partnership opportunities to create a new green building demonstration project.

**Objective 4.5:** Encourage shared and renewable energy generation and use at the building-scale.

**Policy 4.5.1:** Permit small wind turbines in all land uses.

**Policy 4.5.2:** Amend the Zoning Bylaw to regulate small wind turbines, including their maximum height, setback requirements, sound levels, and blade clearance above grade.

**Policy 4.5.3:** If a District Energy System is established, create a Service Area Bylaw that requires connection to a district energy system, possibly Dawson Creek’s existing biomass system.



Small scale wind projects (e.g. at the building/site scale) are an effective way to reduce greenhouse gas emissions, and can be regulated to have little impact on neighbouring uses.



## 5.0 Affordable Housing

The City of Dawson Creek will support the health and well-being of its citizens as essential characteristics of a sustainable community by promoting an affordable and diverse housing stock.

### Why is Affordable Housing Important?

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Housing significantly impacts both the environmental and social aspects of a community's development. Homes are where most energy, water and resource consumption takes place, and their design impacts the walkability of the community. Housing tenure and affordability also contribute to the well-being, inclusivity and diversity of communities.

Affordable housing is housing that can be rented or owned by residents without spending more than 30% of gross household income. Households earning below 80% of the median household income (\$40,800 per year in 2006) as published by Statistics Canada are the focus need. Affordable housing may be market housing or non-market housing.



## Dawson Creek Trends

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- The vacancy rate is low; it is less than half of what is considered a healthy rental market (which is 3%).
- Rental costs have grown a lot in recent years and are high. Social agencies in Dawson Creek report that people leaving the emergency shelter or transition house cannot find suitable rental accommodation.
- In 2006, there were 4,650 housing units in the City, and it is expected that roughly 45 new homes will be added annually over the next 20 years. Given this forecast, there is an oversupply of land available for residential development in Dawson Creek.
- The average price of a single family home has increased substantially in recent years, though prices appear to have stabilized.
- There is little housing diversity. About 70% of the housing stock is single-family dwellings on large lots, much of it aging, and some in poor condition.
- The lack of diversity is adding to affordability problems, with high home prices, low vacancy rates and high rents. About 600 households were in core housing need in 2006, consisting of both renters and owners, Aboriginal and non-Aboriginal households, families and single persons, and seniors and adults.
- There is a lack of supportive housing for certain segments of the population, including people with mental illness, addictions, brain injury, and development disabilities.
- Homelessness is also an issue, and the community has responded with a Homeless Outreach Program and temporary emergency shelter.

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*The policies in this section help deliver on the community's goals, in particular:*

- *Foster social well-being through health, housing and education.*
-

- Rising heating costs, particularly given the aging housing stock, impacts affordability in Dawson Creek.
- A significant share of the population is between the ages of 45 and 64 years. While most seniors prefer to age in place, some will seek smaller, ground-oriented, centrally-located homes.
- Overall, core need households tend to be non-Aboriginal, renters, aged 45 to 64, and living alone.

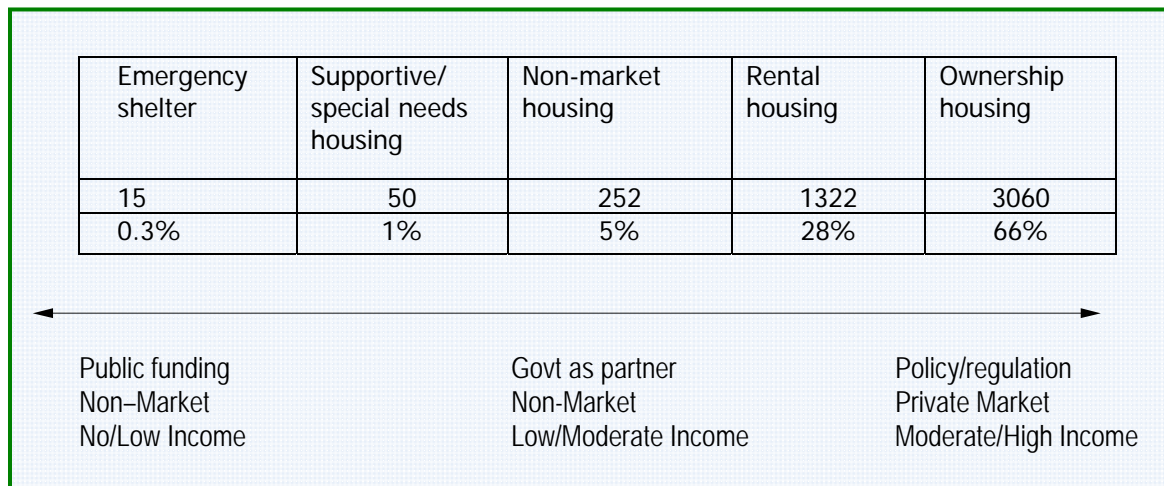
## City Role

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The City of Dawson Creek can encourage affordable housing through the land use and development process, and in partnership with other housing stakeholders like service providers, housing agencies, the real estate industry, and others. It is recognized that the provincial and federal governments have the primary role in creating and preserving non-market affordable housing.

The City's role is in expanding housing choices (as per the Housing Continuum Diagram below), facilitating access to affordable market and non-market housing, adopting policies to retain existing affordable housing, and promoting sustainability through energy retrofits and land use planning.

The Housing Continuum Diagram describes five generic types of housing, representing an ideal range of housing. It shows the distribution of housing units in Dawson Creek according to these categories. The role of government and the market, as well as the income profile of each component of the continuum, is shown. The cost of housing (to residents) is highest at the right side of the continuum.



**Dawson Creek Housing Continuum, 2008**

## Objectives & Policies

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**Objective 5.1:** Encourage housing in a range of types, tenures, and prices to ensure that people of all ages, household types, abilities, and income levels have a diversity of housing choices.

**Policy 5.1.1:** Permit one legal secondary suite within a single detached dwelling as a way to increase housing choice and affordability.

**Policy 5.1.2:** Amend the Zoning Bylaw to set out standards for secondary suites, including maximum suite size, size relationships to primary dwelling, and parking requirements.

**Policy 5.1.3:** A “housing agreement” may be entered into between the City and the owner, and registered on the land’s title to protect affordable housing created using incentives or with other municipal resources or programs.

**Policy 5.1.4:** Make it possible to keep the existing rental housing stock where appropriate, through zoning, rehabilitation and requiring

replacement of rental units subject to redevelopment. Where retrofit is required, encourage energy retrofits at the same time.

**Objective 5.2: Improve housing affordability including working with stakeholders to implement the City's Affordable Housing Strategy (2009).**

**Policy 5.2.1:** Introduce policies that support the implementation of alternative life safety standards for secondary suites and enhance the level of municipal enforcement of these standards.

**Policy 5.2.2:** Work with partners such as non-profit housing agencies, community service agencies, the private sector, faith community, health care sector and others to facilitate new non-market affordable housing, supportive housing and/ or permanent emergency shelters.

**Policy 5.2.3:** The City recognizes that rooming house/hotel accommodation is an important low cost housing option for the workforce. The City will continue inspections of hotel facilities to ensure they meet fire safety standards.

**Policy 5.2.4:** Consider permitting secondary dwellings or accessory dwelling units detached from the primary dwelling as a way to broaden housing choice.

**Policy 5.2.5:** Consider providing municipal land at market or below market rates for the purposes of creating affordable non-market housing.

**Policy 5.2.6:** Consider providing parking relaxations or other development incentives for development proposals incorporating non-market affordable housing.

**Objective 5.3: Promote sustainability and affordability through land use and building form as well as through initiatives that improve energy efficiency.**

**Policy 5.3.1:** Affordable, rental and special needs/supportive housing – including seniors housing – will be located throughout the city, with preference given to locations that include amenities, and services, including transit.



A diversity of housing – including affordable, rental, supportive and seniors housing – makes for a more inclusive and complete community.

**Policy 5.3.2:** Consider building or design guidelines that allow for new residential development to accommodate persons with mobility limitations. Approaches include visitability, adaptability or universal design.

**Policy 5.3.3:** Consider supporting demonstration or pilot projects that showcase affordable residential applications of energy efficient technology or systems.

**ADAPTABLE DESIGN** promotes accessibility of units by incorporating features in new construction (i.e. roughing in) that make it easier to convert later on.

**ACCESSIBILITY** refers to access or accessible means that a person with disabilities is, without assistance, able to approach, enter, pass to and from, and make use of an area and its facilities, or either of them.

**UNIVERSAL DESIGN** refers to a product, environment, building design (e.g. including bathrooms and kitchens) and construction that aims to accommodate the functional needs of everyone; including children, adults and seniors, with or without disabilities.

**VISITABLE HOUSING** refers to new homes that offer three specific accessibility features that allow a person with mobility limitations, including wheelchair users, to visit the home: 1) at least one zero-step entrance on an accessible route leading from a driveway or public sidewalk; 2) all interior doors providing at least 31 ¾ inches (81 cm) of unobstructed passage space; and 3) at least a half bathroom on the main floor.





## 6.0 Environmental Protection & Open Space

The City will focus on City-wide trail networks as a premier recreational amenity in the City and efficiently allocate capital budgets to acquire and prioritize parks, maintenance and park improvements based on residents' use and needs.

### Why is Environmental Protection & Open Space Important?

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Natural systems provide valuable functions and contribute to a healthy environment for residents and visitors. Open space for public recreation and enjoyment is equally important to a healthy lifestyle, social interaction and family activities. Parks and outdoor leisure services also provide an enhanced aesthetic value to the City and significant economic returns through tourism and amenities that attract new residents.



## Dawson Creek Trends

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- The city currently has 10 kilometres of trails, with a 7 kilometre walking trail at Leoppy Park. There is a proposal to expand the trail network an additional 19.3 kilometres.
- Approximately 3.8 hectares of additional park space will be required by 2021.
- Leoppy and Chamberlain Parks are unique to the City as 'urban forests'.
- Creeks and riparian wetland areas are key amenities for the City. They perform important ecological functions such as water filtration, erosion and flood control. They also provide habitat and a unique recreational amenity for residents.
- Industrial dumping into the Creek is currently an issue causing ecological damage.

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*The policies in this section help deliver on the community's goals, in particular:*

- *Enhance green space to support both community and ecological uses.*
- 

## City's Role

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The City is required to regulate for environmental protection and designate open space as a land use under the Local Government Act. The City can also ensure that the natural environment is maintained and enhanced as the community grows and residents needs change by providing a variety of parks and recreational opportunities in balance with its environmental protection objectives.

# Objectives & Policies

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## *Environmental Protection Policies*

**Objective 6.1: Preserve sensitive environments within and adjacent to Dawson Creek.**

**Policy 6.1.1:** Development and disturbance is discouraged on flood plains, particularly lands along Dawson Creek known to be susceptible to flooding. The City will encourage adequate buffer areas adjacent to the Dawson Creek both on public and on private land through a conservation covenant.

**Policy 6.1.2:** A corridor of land a minimum 30 metres from the top of bank along Dawson Creek throughout the City is designated as an Environmental Development Permit Area – Part III of this OCP.

**Policy 6.1.3:** Partner to support or conduct an assessment and inventory of aquatic and terrestrial ecosystems related to Dawson Creek for the purposes of updating protection strategies, restoration programs and facilitating appropriate land use and servicing decisions. The City will participate in any regional inventories that assist in this capacity, including those for wildlife and vegetation species.

**Objective 6.2: Protect environmentally sensitive areas through a range of policies and incentives that work with property owners.**

**Policy 6.2.1:** Protect and preserve environmentally sensitive areas using one or more of the following measures, depending on which are appropriate to a given situation:

- Dedication as a City park or trail where the area compliments the goals and objectives of the City's Parks & Recreation Master Plan;
- Dedication to a land trust or similar non-government organization for conservation purposes;
- Covenant for conservation purposes with the City, Province and/or a nongovernmental organization(s) eligible to hold Conservation Covenants;



Not only do natural areas have intrinsic value, they also provide opportunities for recreation and enjoyment, and perform many functions and services important to communities and agriculture.

- Some form of development incentive (density bonus, density transfer, cluster housing, etc.) that will help to protect designated environmental protection areas.

**Policy 6.2.2:** Owners placing conservation covenants on their land shall not be deprived of the privilege to enjoy the land as their own but they may not close, fence or otherwise obstruct any adjoining public route of access.

**Objective 6.3: Maintain and enhance the City's 'urban forests' (including Leoppky Park and Chamberlain Park) to preserve their vital community functions such as air quality maintenance, temperature moderation, rainwater management, and greenhouse gas reduction.**

**Policy 6.3.1:** Maintain an inventory of tree species in City parks. Use this also as a basis for enhancement and/or future programming or interpretive possibilities.

**Policy 6.3.2:** Set a target of 20% for tree canopy coverage in new developments through preservation measures and planting strategies (location and species) specific to the site.

**Policy 6.3.3:** Maintain a tree planting program – including tree hazard report and replacement, growth diversity and phased planting within parks, targeting areas susceptible to public traffic.

**Policy 6.3.4:** Establish requirements for the preservation and use of local, native species in new developments and in the public realm (e.g. parks, boulevards, medians) as redevelopment occurs within the City.

### ***Open Space & Recreation Policies***

**Objective 6.4: Ensure parks and recreational needs of residents are met.**

**Policy 6.4.1:** The dedication of land, or cash in lieu, not to exceed 5% of the parcel area proposed for subdivision for park and public open spaces is required to ensure adequate park spaces for residents within walking distance. A park standard target of 3.0 ha per 1,000 new people (via population growth) will guide choices about

development cost charges and park acquisitions in areas where new development or significant redevelopment is occurring.

**Policy 6.4.2:** Promote a range of recreational programming (including, but not limited to sports) for children and, in particular, youth (adolescents), seniors and families in Dawson Creek.

**Policy 6.4.3:** Regularly update a recreational needs assessment and provide and maintain recreation facilities in the most cost effective manner in order to meet the recreational needs of the City's residents.

**Policy 6.4.4:** Regularly update a park inventory to reflect resident's needs and existing facilities in parks. The inventory will help to prioritize capital budget for decommissioning and land trade, for unused parks in poor locations, new park development, facility upgrades, and maintenance schedules.

**Objective 6.5:** Utilize green corridors and linear parks more effectively to promote healthy communities by providing options for movement throughout the City.

**Policy 6.5.1:** Ensure continued expansion of the main trail system over time by adding links to it from residential subdivisions in the north and south, and by connecting it at the city limits to other trail networks and corridors outside the city.

**Policy 6.5.2:** Ensure any necessary acquisition of lands and development of the Dawson Creek Trail in locations as generally shown on Map 4. These lands may be acquired through dedication of land at time of subdivision, donation, land trade, or by cash acquisition.

**Policy 6.5.3:** Identify mid-block crossings and decide which are necessary and suitable for greenway connections. Develop these as a part of the trail and green corridors. Seek other proposals or uses for mid-block crossing land areas that do not fit within the proposed City-wide trail network.

**Policy 6.5.4:** At subdivision and rezoning, ensure a minimum 10-metre statutory right-of-way – as determined by the City's Parks



Diverse recreation areas serve the needs and interests of a variety of users.

Department for public access where trails or parks within the City can be connected. The access corridor may be in addition to, and outside, any riparian management area requirements imposed in this OCP. On the private property side of the public access corridor, the City may, as necessary, consider stipulating additional “no disturb” zones.

**Policy 6.5.5:** Where linear parks cannot be acquired through dedication, the City will explore ways to encourage dedication by compensating property owners when land is made available for linear parks. Methods of compensation may include but are not limited to:

- increased density on the balance of the subject property;
- density transfer;
- grants-in-aid; and
- tax exemptions or land trade.

The City will consider, in situations where there is a willing seller, the purchase of all or a portion of properties in high priority access areas where it is unlikely the required land can be obtained in less expensive ways in the desired time-frame. Where land is purchased, funds will be sought from the following sources:

- general tax revenue,
- designated funds approved through referendums, and/or other sources.

The City will consider a variety of alternatives for helping to offset costs associated with purchasing linear parks/trail heads. For example, when lots are purchased, and only a portion of the site is needed for park purposes, the portions not required could be severed and sold to offset costs. Where appropriate, the City will consider leasing land for linear parks.

**Policy 6.5.6:** Require that all survey and legal costs incurred with establishing the linear park dedication, as a result of a development application, are the responsibility of the applicant.

**Objective 6.6:** Partner with community groups, non-profit organizations, business associations and other jurisdictions to ensure environmental protection and dynamic open spaces.

**Policy 6.6.1:** Promote community outreach and education that addresses water quality and quantity protection, promotion of integrated storm water planning and promotion of pervious materials use as appropriate.

**Policy 6.6.2:** Promote environmental stewardship and sustainable programs within the City.

**Policy 6.6.3:** Collaborate with Regional District to address issues of air quality, transportation, and water quality and habitat protection.

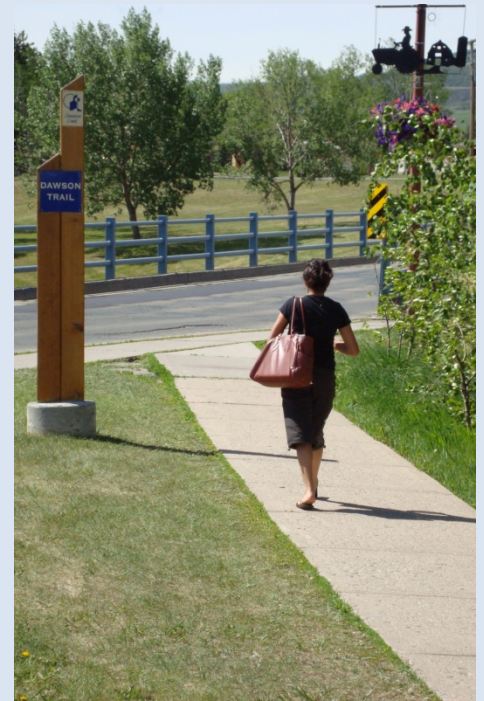
**Policy 6.6.4:** Integrate park planning and design with broader community planning initiatives related to land use, residential development, transportation and provision of community amenities, including:

- Social, celebratory and contemplative spaces
- Public art
- Heritage, the environment, First Nations culture, veteran and local immigrant culture
- Public gathering places (e.g. places for community celebration and civic engagement)

**Objective 6.7:** Expand the definition of ‘park’ to include new programming, event-based and seasonal or commercial facilities that enliven City park spaces and generate new activities.

**Policy 6.7.1:** Encourage partnerships with community groups and educational institutions to implement programming within City parks that benefits local neighbourhoods and City residents.

**Policy 6.7.2:** Reconnect Creeks with public park spaces by providing access to the creek (where appropriate), viewpoints, interpretive signage, bridges, walking paths directly alongside, programming or celebratory spots or venues directly adjacent to the Creek or commercial activities nearby.



Parks and recreation areas that are integrated into the broader community can meet other community sustainability objectives, including active transportation and increased social interaction.

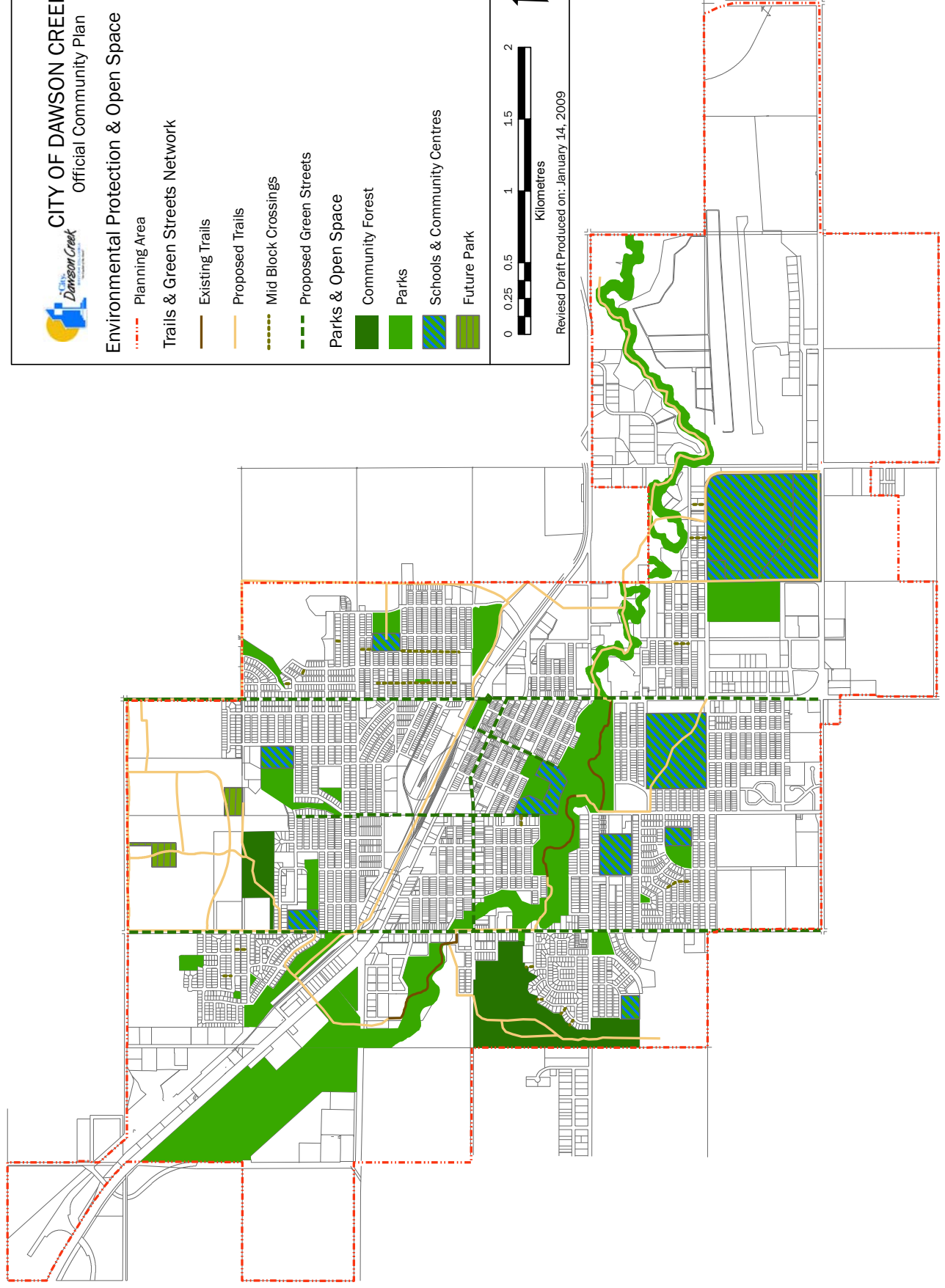


**Environmental Protection & Open Space**

- - - Planning Area
- Trails & Green Streets Network**
  - Existing Trails
  - Proposed Trails
  - - - Mid Block Crossings
  - - - Proposed Green Streets
- Parks & Open Space**
  - Community Forest
  - Parks
  - Schools & Community Centres
  - Future Park



Revised Draft Produced on: January 14, 2009





## 7.0 Community Oriented Transportation System

The City will work to expand residents' options for transportation, including pedestrian, cycling, transit and vehicle use. Key green streets will be identified to complement the trail network and prioritize improvements to the streetscape/public realm with new development.

### Why is this important?

---

Transportation is closely tied to growth management and land use. The arrangement and mix of land uses determines the distance and movement patterns between homes, jobs and recreational spaces. This in turn determines the amount of energy we spend on travelling within and around the community. A sustainable transportation system provides residents with choices in their mode of transport both within the City and to points outside the City. Transportation systems also support our local economy (goods and services) and connect us with regional destinations.

## Dawson Creek Trends

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- The City is located at the junction of several provincial highways and owes much of its prosperity to excellent transportation access.
- Transportation is the single largest contributor to greenhouse gas emissions in Dawson Creek (44%).
- Separated land uses (including highway commercial use) currently encourage vehicle use to meet residents' needs.
- Many people unnecessarily idle their cars, despite an anti-idling campaign.
- Safety issues identified by residents in Dawson Creek are often related to road/street maintenance, street safety for cyclists and pedestrians (including crosswalks) and sidewalk maintenance.
- Overall the City is well served by its road network and transit system and is in a good position to service future growth

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*The policies in this section help deliver on the community's goals, in particular:*

- *Develop an environmentally friendly community-oriented transportation system*
- 

## City's Role

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Under the *Local Government Act* the City must include statements and approximate location and phasing of any new major road, sewer and water systems. An Official Community Plan must also include targets for the reduction of greenhouse gas emissions in the area covered by the plan, and proposed policies and actions of the local government with respect to achieving those targets. Some of these of which are contained in this section (see Section 4.0 for greenhouse gas targets and specific policies).

# Objectives & Policies

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**Objective 7.1: Promote active modes of transportation over motorized modes.**

**Policy 7.1.1:** Subject to other policies in this OCP, the road network will conform to that shown on Map 5.

**Policy 7.1.2:** Transportation infrastructure requirements and access priority for new development applications will be assessed and required to respond to the following order of priority:

- Walking
- Transit
- Cycling
- Vehicles Requiring Transportation for Good & Services
- High Occupancy Vehicles (HOVs)
- Single Occupant Vehicles (SOVs)

**Policy 7.1.3:** New subdivision designs are required to discourage movement of through traffic on local roads and provide for an enhanced pedestrian environment.

**Policy 7.1.4:** Promote partnerships with BC Transit to initiate public engagement in public transportation planning to identify better transit routes or strategies to increase ridership. In addition, explore other options to create a flexible, accessible, and affordable public transit system.

**Policy 7.1.5:** As a part of the City's transportation planning, promote the identification of opportunities for bicycle lanes and a 5-year implementation plan.

**Policy 7.1.6:** Where a wider width of sidewalk can be accommodated, new development is required to separate sidewalk edges from road curbs by including climate tolerant landscaping or hardscape for the protection of pedestrians.

**Policy 7.1.7:** Increase capital spending strategies on improving walkability and cycling infrastructure through improved pedestrian friendly streetscapes and a City-wide connected trail system



Walkable communities create healthier citizens, reduce greenhouse gas emissions associated with vehicular travel, and create a sense of place and character. Walking should be the first priority for a transportation mode in terms of transportation and land use planning.

(approximately 30% of budget for streets is dedicated to pedestrian, transit, cycling ease).

**Policy 7.1.8:** As a priority at rezoning, ensure walking and cycling paths and lanes link to adjacent major open spaces, parks, schools, other public institutions and large activity areas.

**Policy 7.1.9:** Require combined walking/cycling paths to provide short-cuts connecting new residential subdivisions and destinations such as schools, transit stops, recreation facilities and employment nodes.

**Policy 7.1.10:** For large redevelopments or subdivision projects where an internal road network and/or a large parking lot is required, require safe pedestrian walkways through parking areas to entrances and nearby transit stops.

**Objective 7.2: Ensure delivery of transit infrastructure and facilities.**

**Policy 7.2.1:** Require transit infrastructure in or adjacent to large redevelopment sites and subdivision projects where an internal road network and/or a large parking lot is required.

**Policy 7.2.2:** Require an upgrade or new local bus stop (preferably within 200m walking distance) with amenities such as shelters, accessibility features and lighting for all new multi-family residential, large scale commercial or industrial developments along or within 5 blocks of an existing bus route.

**Policy 7.2.3:** Require interim transit service (such as a private or community shuttle service), at the cost of the development, where the approved development is not consistent with City transit planning until public transit service is available.

**Objective 7.3: Ensure adequate accessibility for those residents with mobility challenges.**

**Policy 7.3.1:** Ensure new development accommodates the needs of wheelchair and medical scooter users.



Transit infrastructure includes signage, weather-protected shelters, good lighting, accessibility features (i.e. so that wheelchair users are easily accommodated), street furniture such as garbage receptacles and benches, and possibly landscaping. Transit stops should be dignified, comfortable places.

**Objective 7.4: Ensure efficient cost effective delivery of road infrastructure that accommodates multi-modal users and commercial goods movement.**

**Policy 7.4.1:** The route following Highway 2 to Adams Road to the Golf Course Road to the Hart Highway is designated as a Truck Route Bypass (also known as the Dangerous Goods Route).

**Policy 7.4.2:** Ensure new development improves pedestrian facilities, such as reducing unnecessary pedestrian barriers, increasing opportunities for crossing busy roads safely, and providing direct routes to transit, schools, shops, etc.

**Objective 7.5: Implement parking strategies that discourage unnecessary vehicle usage.**

**Policy 7.5.1:** Require new large format commercial and institutional developments to allocate preferred parking stalls for hybrid, car shares, car pools or small vehicles in addition to those designated as handicapped or family parking.

**Policy 7.5.2:** Permit on-street parking stalls located in front of multi-unit residential, commercial, industrial and institutional developments to be counted within the total number of parking stalls required in the Zoning Bylaw.



Community Oriented Transportation System

— Planning Area

**Transportation Network**

— Highway

— Arterial

— Collector

— Bus Route

— Existing Trails

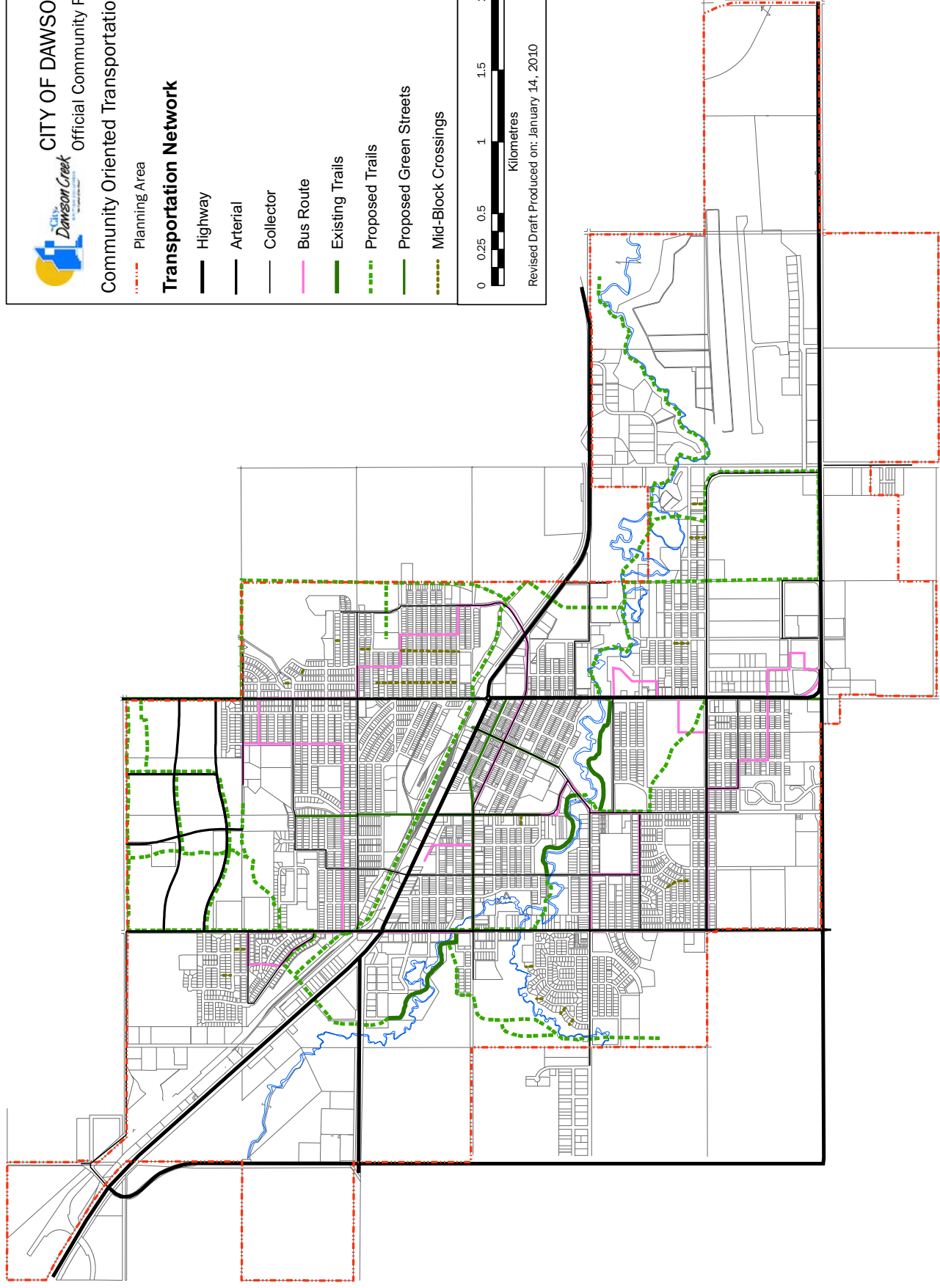
— Proposed Trails

— Proposed Green Streets

— Mid-Block Crossings



Revised Draft Produced on: January 14, 2010





## 8.0 Utilities and Infrastructure

The City will protect existing infrastructure investments and will promote integrated, green infrastructure as a key tool to meet the community's greenhouse gas emission targets.

### Why is this important?

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Municipal infrastructure, including the provision of water, sanitary sewer service, storm water drainage and solid waste management is:

- expensive with high capital, operations and lifetime maintenance costs,
- requires a planned replacement and rehabilitation schedule,
- utilities are health-oriented but not necessarily environment-oriented, and
- infrastructure is minimally integrated and coordinated between different systems, such as waste water, water and energy systems.

Changing circumstances, including energy prices and climate change, are creating opportunities to rethink infrastructure and find ways systems can work together to minimize costs for stormwater management, waste collection, roadways, and energy.

Principles include:

- managing growth and utility expansions carefully to reduce the expense and financial burden on taxpayers;
- protecting existing infrastructure investments;
- applying demand-side management (DSM) approaches;
- using waste as a resource;
- thinking in terms of solutions that address multiple social and economic development objectives;
- matching resource grade (quality) to end use needs;
- mimicking natural systems in design; and
- strengthening system resilience and stability through decentralized approaches.

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*The policies in this section help deliver on the community's goals, in particular:*

- *Use water responsibly and efficiently to ensure a clean and sustainable supply; re-use resources and decrease waste.*
- 

## Dawson Creek Trends

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- The quality and quantity of water supply in Dawson Creek will need to be managed to ensure a long term supply will be available for all citizens and businesses. The City will also need to be aware of, and plan for, local and global climate change that may affect water quantity and quality.
- Costs are rising for reservoirs, pumping systems, and treatment facilities, particularly with respect to cleaning turbid water.
- Dawson Creek is a leader in energy planning, and the City has committed to being carbon neutral in its corporate operations by 2012. Projects such as the use of wood and agricultural waste as a source of biofuel in powering existing boilers at the South Peace Community Multiplex through gasification illustrates this commitment.

## City Role

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This section summarizes the City's current utilities and infrastructure systems.

The existing water supply is drawn from the Kiskatinaw River. Before reaching the City, the water is pumped through a settling pond, five storage ponds, and a treatment plant where it is filtered, chlorinated and ultra-violet UV disinfected. The system acts as a regional water utility in that it supplies a considerable amount of water to users outside the City, including rural residents within the Peace River Regional District and the Village of Pouce Coupe. Bulk water use through the City's three 'public' bulk sales stations and the two private stations has seen a dramatic increase in commercial bulk water demand in recent years.

Sanitary sewage is treated by a lagoon system east of the City and is released into the Dawson Creek, which flows into the Pouce Coupe River. This primary/secondary system includes a combination of aerobic, anaerobic treatment, then polishing cells into a treatment wetland before final release. Storm drainage within the City is comprised of numerous pipes, open drainage and natural drainage courses, with some detention/retention systems, that ultimately lead into Dawson Creek.

The City currently maintains 88 km of paved and 11 km of unpaved roads. Road maintenance and snow removal represent significant annual municipal expenditures.

The disposal of waste is handled at the Regional Bessborough landfill site. The City will continue to lead efforts to reduce the amount of solid waste going to the landfill.

All infrastructure components are managed by various departments at the City. Dawson Creek as it becomes a leader in energy planning .While the management and maintenance of infrastructure is within the City's jurisdiction, costly improvements often rely on cost sharing and funding support from higher levels of government or from new development.

Dawson Creek can work toward meeting greenhouse gas emission targets, policies, and actions that are now required for Official Community Plans under *Bill 27*, through green and integrated infrastructure approaches.

## Objectives & Policies

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**Objective 8.1:** Ensure an orderly pattern of utility services and avoid premature public expenditures on municipal infrastructure.

**Policy 8.1.1:** The phasing of development and municipal water and sanitary sewer trunk lines and infrastructure will follow the extent and locations as shown in Map 5.

**Policy 8.1.2:** The City does not support any increase in the capacity or extension of municipal services outside the municipal boundary.

**Objective 8.2:** Ensure that the costs of upgrading infrastructure services and servicing new development are borne by those who benefit.

**Policy 8.2.1:** The City supports the principal of infrastructure improvements that benefit the municipality as a whole. Where possible, provincial cost-sharing and, potentially, public-private partnerships will be sought to reduce the financial impacts on City taxpayers.

**Policy 8.2.2:** The City will ensure that the costs of upgrading services are borne primarily by those property owners who benefit, by using finance tools including local service areas, utility charges and other finance tools.

**Policy 8.2.3:** The City will ensure that new development contributes towards the costs of infrastructure capacity improvements that benefit the entire community, by using finance tools including development cost charges, development works servicing agreements, amenity negotiations and comprehensive development agreements, and other finance tools.

**Policy 8.2.4:** Commercial and bulk water utility pricing will reflect the cost of water supply, as well as the proportional cost of current operations and future upgrades to the water system.



Integrated infrastructure brings together different systems to meet common environmental goals while performing different functions. For example, heat can be harvested from sewer systems to heat buildings, and beautifully landscaped boulevards with special vegetation can use the “free services of nature” to manage and clean stormwater (shown above).

**Objective 8.3: Integrate infrastructure systems to address multiple objectives.**

**Policy 8.3.1:** Maximize opportunities for harvesting waste heat or generating energy from water and/or wastewater systems.

**Policy 8.3.2:** Maximize opportunities to reuse waste heat from refrigeration systems from commercial and/or civic buildings, including the South Peace Community Multiplex, City Hall, Seniors Residence, and new buildings such as the Calvin Kruk Centre for the Arts.

**Policy 8.3.3:** Maximize opportunities to establish an integrated utility or enter into agreements with existing utilities to develop and deliver services that conserve water and energy.

**Policy 8.3.4:** Promote the use of grey water reuse systems in new construction and rainwater capture in all homes.

**Policy 8.3.5:** Develop a non-potable water supply, particularly reclaimed wastewater, to reduce the use of potable water for non-potable uses such as industrial processes. An effluent re-use station for non-potable water for the oil and gas industry<sup>2</sup> and other uses, is an example.

**Objective 8.4: Promote demand side management through education.**

**Policy 8.4.1:** Work with partners to educate and advertise to the public and development industry on measures, incentives and programs that encourage reduced water and energy consumption, including energy efficiency upgrades, renewable energy technologies, and water and energy-efficient appliances.

**Policy 8.4.2:** Update the Subdivision and Development Services Bylaw to include integrated stormwater management. A combination of storm sewers, groundwater recharge, detention ponds, ditches and natural drainage courses will be considered to accommodate storm water runoff and mitigate negative impacts on downstream areas.



Water conservation measures such as xeriscaping can be easily implemented with education (offered in plain, clear language), programs, operational changes, and incentives.

<sup>2</sup> The oil and gas sector is the largest consumer of water amongst the City's industrial, commercial and institutional users.



**Objective 8.5: Reduce per person daily consumption of water by 20%, and meet 50% of the City's new water needs through conservation measures by the year 2020.** <sup>3</sup>

**Policy 8.5.1:** The City supports the implementation of water-metering for all consumers within the water system.

**Policy 8.5.2:** Provide appropriate training to City staff to allow for better data management and report generation.

**Policy 8.5.3:** Update current water metering system to wireless technology, in order to obtain more accurate water consumption rates and better monitoring and prevention of leakage/loss.<sup>4</sup>

**Policy 8.5.4:** Support water conservation across all major water customer sectors through implementation of conservation measures such as pricing and other incentives, education, and consideration of future regulations.

**Policy 8.5.5:** Discourage high water consumption for irrigation and other non-potable water uses. Adopt a water budget approach for utility billing. Move to full cost recovery based on consumption.

**Policy 8.5.6:** Expand upon the current community education initiative to promote the value of water conservation and use of tools and practices to conserve water. Provide leadership to property owners by assessing and retrofitting existing City buildings and facilities, and designing all new City buildings and facilities, to maximize indoor water efficiency to the extent feasible.

**Policy 8.5.7:** Implement a strategy to increase the uptake of low-flow fixtures in homes, such as low-flow toilets and faucet aerators.

**Policy 8.5.8:** Provide leadership to property developers by designing water-wise/xeriscape landscaping for City lands and facilities, such as medians, boulevards, sports fields and parks, to conserve water, while ensuring proper maintenance and function.

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<sup>3</sup> 2005-2007 consumption levels were an average of 584 litres/person/day; a reduction of 20% equates to 467 litres/capita/day by 2020

<sup>4</sup> This will result in lower volumes of unaccounted for water in the future- up to 10% of leakage/loss can be due to faulty meters.

**Objective 8.6: Reduce the intensity and overall quantity of fossil fuels and other resources used through increased energy efficiency and conservation in the City.**

**Policy 8.6.1:** Support increased outreach, education, and enforcement of automobile idle-reduction within the City.

**Policy 8.6.2:** Support small-scale or modular district energy systems within the municipality and other large buildings, and where large energy demands exist and systems may be most cost-effective.

**Policy 8.6.3:** Encourage the development of an eco-industrial networking strategy.

**Policy 8.6.4:** Provide ongoing support for the Dawson Creek Climate and Energy Advisory Committee (DCCEAC).

**Policy 8.6.5:** Provide ongoing support for the pilot project for the use of wood and agricultural waste as a source of biofuel in powering existing boilers at the South Peace Community Multiplex.

**Policy 8.6.6:** Seek partnerships for innovative projects such as the extraction of heat energy from sewer mains.

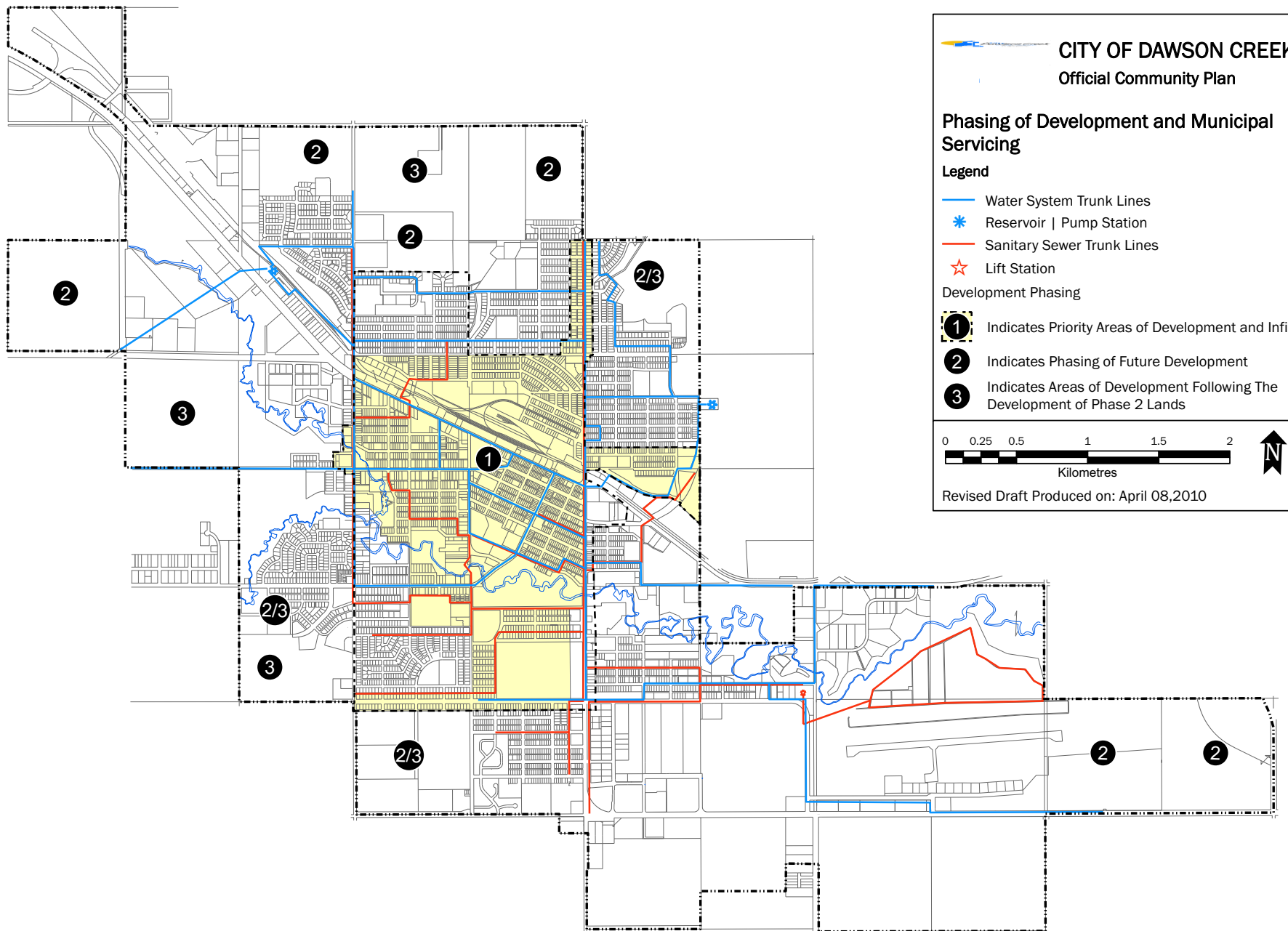
**Policy 8.6.7:** Secure agreements for district energy systems in private development projects where the scale and density of development would provide for viable shared systems.

**Objective 8.7: Significantly reduce the amount of solid waste, and treat waste as a resource or input into other systems wherever possible.**

**Policy 8.7.1:** Provide space and facilities for three stream waste separation (recyclables, organics / compost, and residual garbage) at the unit level, building level, and at the neighbourhoods level.

**Policy 8.7.2:** Work with partners to capture value in waste streams.

**Policy 8.7.3:** Discourage construction and demolition waste from buildings, and encourage building disassembly and recycling through varied permit fees (e.g. \$1000 permit fee for building demolition, \$1 permit fee for disassembly and recycling).





## 9.0 Sustainable Food System

This City will support all aspects of a sustainable food system. This will be achieved by ensuring its food system is locally-focused, healthy, environmentally-beneficial, and secure, which means that all people have access to healthy, culturally-appropriate food.

### Why is a Sustainable Food System Important?

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Food is increasingly recognized as a major piece of the sustainability puzzle, and it can play an important role in creating social relationships, building community, reducing emissions, protecting ecosystems, and strengthening the local economy. Despite food's importance, it's often overlooked in planning or considered the responsibility of other jurisdictions and/or private sector. Yet there are many opportunities for municipal governments to enhance communities' quality of life through support of a sustainable food system, and many local governments in British Columbia are at the forefront of this work.

## Dawson Creek Trends

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- Food carries meaning particularly in communities like Dawson Creek, where agriculture is a cornerstone of the economy and forms part of local identity.
- Within city limits, private and community gardens provide for the production and consumption of local food, and there is public interest to increase this activity.
- The weekly Farmer's Market, which runs half of the year and offers a variety of produce and canned goods, helps forge relationships between urban residents and rural producers. This strengthens the local economy and building regional food security.
- There is not a great diversity of grocery outlets in Dawson Creek (i.e. most are large-format and auto-dependent), so there is an opportunity to increase the number of neighbourhood-scale, pedestrian-oriented grocery outlets.
- Three organizations currently offer emergency food services: the Food Bank, a soup kitchen, and Meals on Wheels.
- While emergency food services are currently a crucial aspect of the community sector, and meet a pressing need, their existence is commonly recognized as an indication of failure to address poverty on the part of the community. Participants in a recent social planning workshop identified this as a priority for Dawson Creek.

## City Role

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While there are no explicit requirements in the *Local Government Act* for municipalities to manage or regulate components of the food system, they are already indirectly or directly involved through regulation of land use and development, and corporate operations, services, and programming.

## Objectives & Policies

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**Objective 9.1: To increase food production within Dawson Creek City limits.**

**Policy 9.1.1:** Encourage planting of edible plant species in lieu of landscaping in private developments, parks, utility corridors, and local right-of-ways where appropriate, or require a portion of all landscaping to include edible plant species.

**Policy 9.1.2:** Count food production elements, including but limited to: allotment gardens, community gardens, green walls (i.e. vertical landscaping), and green roofs toward or in lieu of landscaping or screening requirements.

**Policy 9.1.3:** Permit community gardens, apiculture, and aquaculture uses in all land uses.

**Policy 9.1.4:** Permit temporary or permanent use of City-owned vacant lots for community gardens.

**Policy 9.1.5:** Provide water hook-up and secure supply storage area for community gardening groups on public land.

**Policy 9.1.6:** Investigate the feasibility of piloting an edible green roof project on a municipal building.

**Objective 9.2: To support agriculture in the region and promote links between local producers and consumers.**

**Policy 9.2.1:** Provide space in community centres for drop-off and storage of food for Community Supported Agriculture initiatives.

**Policy 9.2.2:** Support and promote the existing Farmer's Market, and work toward securing a long-term location for it.

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*Edible landscaping refers to the use of plants that produce food (i.e. in place of plants that are strictly ornamental). Examples include:*

- Kale
  - Garlic
  - Leeks
  - More...
- 

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*Preserving the agricultural land base for agricultural uses helps ensure food and economic security in the region.*

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**Objective 9.3: To promote food processing in Dawson Creek.**

**Policy 9.3.1:** Provide site selection support for food processors considering locating in the community.

**Policy 9.3.2:** Encourage small-scale community kitchens, food processing facilities, and outdoor community ovens through permissive zoning.

**Objective 9.4: To reduce emissions by decreasing the number of vehicular trips required to access food.**

**Policy 9.4.1:** Encourage the establishment of neighbourhood-scale food vendors, including grocery stores and eating establishments.

**Objective 9.4.2: To increase food quality and quantity for users in need of emergency food services.**

**Policy 9.4.3:** Support links between Dawson Creek's food emergency organization and local producers.

**Policy 9.4.4:** Provide incentives such as partial tax exemptions to emergency food organizations to increase their viability and efficacy.

**Objective 9.5: To promote celebration of food in the public and private realms.**

**Policy 9.5.1:** Support food fairs and other food-related public events in community facilities, parks, and right-of-ways (e.g. car-free street fairs, as per the Dawson Creek Temporary Road Closure and Event Manual.)

**Objective 9.6: To build on the existing marketing and branding of Dawson Creek as an agricultural and community.**

**Policy 9.6.1:** Continue ongoing support of the "Branding of the Peace" marketing strategy to promote the region and its agricultural products.



Participating in the local food system – from production to consumption – reduces a community's ecological footprint, supports the local economy, and builds community.

**Objective 9.7: To minimize disposal of organic waste and encourage nutrient recycling.**

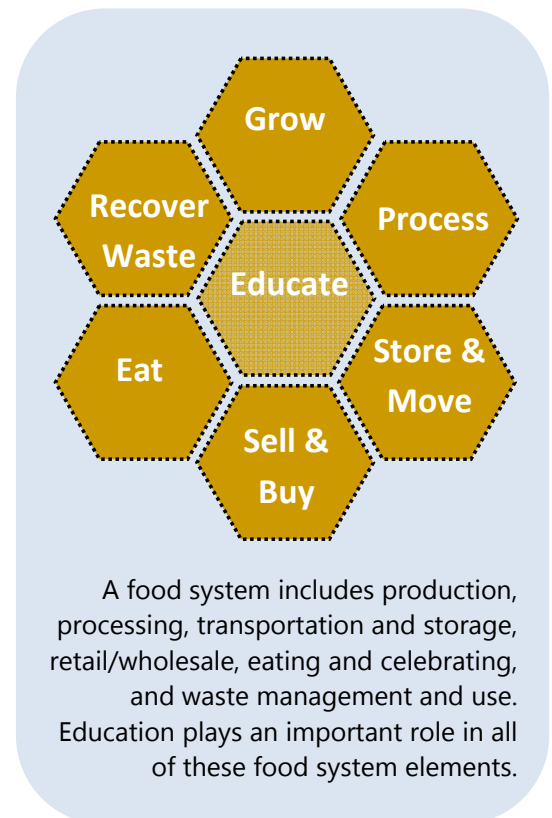
**Policy 9.7.1:** Provide multi-season compost facilities in all multi-family developments, and in all commercial, institutional, and industrial developments where food is consumed.

**Policy 9.7.2:** Develop a public education and awareness campaign on the importance and benefits of composting. Campaigns should use plain, accessible language.

**Objective 9.8: To build corporate capacity in supporting a sustainable food system in Dawson Creek.**

**Policy 9.8.1:** Where possible, work with the community to develop a Food Policy Council made up of local experts and members of the community, which will advise Council on matters dealing with the local food system.

**Policy 9.8.2:** Where possible, develop and adopt a food procurement policy, which requires that all of the City's facilities and services involving food include organic, local, healthy, and fair-trade options.





## 10.0 Vibrant Culture, Arts & Heritage

The City will support and strengthen its active arts and cultural community through offering leadership, supporting new growth, and providing appropriate venues. The City's rich heritage resources will continue to play a central role in its unique character, enhancing the identity and appeal of the community.

### Why is this Important?

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Arts, culture and heritage are key to creating a prosperous, unique and diverse community. These aspects of a community can strengthen the vitality of a place through increasing tourism, enhancing educational opportunities, and attracting business to communities. Particularly in rural areas, cultural organizations are often the centre of community life. The benefits to our cities and towns can be subtle, yet powerful: building social capital, facilitating discourse across groups, and furthering civil society by providing perspective on critical issues. Arts, culture and heritage ensures that residents are educated and entertained, and enjoy a unique sense of place and identity.

## Dawson Creek Trends

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- Dawson Creek is a culturally active city, with community groups and facilities that support arts, cultural and heritage programs.
- Dawson Creek boasts the largest library in Northern British Columbia, which provides a large collection and internet access for residents.
- The Dawson Creek Art Gallery features year round exhibitions by local, provincial and national artists. The Art Gallery's location reflects the unique local character, as it is housed in a renovated annex of a prairie grain elevator and is easily accessible in the centre of the community.
- Dawson Creek also enjoys Unchagah Hall, a 630 seat performing arts theatre.
- Various organizations, such as the Kiwanis Performing Arts Centre (KPAC), carry out arts and cultural programs and events within Dawson Creek.
- Heritage protection is directed by the Heritage Strategy for the City of Dawson Creek, which lays out a community heritage program and implementation plan.
- The city also has a Community Heritage Commission which is primarily an advisory body, focusing on issues of registry, maintenance, and the promotion of heritage.
- The South Peace Historical Society (a member of the Community Heritage Commission) operates the Railway Station Museum, owns several historical buildings, and maintains publically accessible historic archives.
- The historic post office will house the Calvin Kruk Centre for the Arts, which will be a community and cultural centre that includes a multi-purpose theatre space, meeting rooms,

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*The policies in this section help deliver on the community's goals, in particular:*

- *Encourage vibrant arts and culture*
-

dance and textile studios, and administrative offices. It will serve as an anchor in the downtown.

- Public art has been commissioned in Dawson Creek, including the Workers Memorial at City Hall, the metal statue at the traffic circle at 8 Street and Alaska Avenue, and others.

## City Role

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Through regulation of design and provision of public amenities, its activities and promotion of arts and culture, and its regulation of heritage preservation, the City of Dawson Creek plays an important role in supporting vibrant culture, arts, and heritage in the community.



## Objectives & Policies

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**Objective 10.1:** Encourage the growth of arts and culture in the community.

**Policy 10.1.1:** Develop a public art program to support the work of local artists and enhance public buildings, streetscapes and other public spaces. Components of this program can also be used for commercial and multi-family developments:

- a. 1% of the value of capital budgets for above ground projects allocated towards the purchase/commission and maintenance of public art to be displayed in public areas.
- b. 1% of budget for municipal building construction/renovation projects or park redevelopment allocated to the purchase/commission and maintenance of public art for that building, structure or park.
- c. A jury (composed of artists, municipal staff, business representatives and residents) process applied to all public art projects on publicly owned land, and as an incentive, made available at no cost to developers for public art projects on private land.
- d. Focus on the City Centre as the primary location to be considered for the provision of public art.

**Policy 10.1.2:** Develop home-based business regulations that enable artists and artisans to work from their homes.

**Policy 10.1.3:** Identify opportunities to support the arts when making planning, service and program decisions.

**Policy 10.1.4:** Support artists by permitting the establishment of artist live-work spaces in all land uses, except in Heavy Industrial.

**Objective 10.2:** Support arts and culture through enhancing community facilities and spaces.

**Policy 10.2.1:** Develop public outdoor places that support programmed or spontaneous performance, art installation and play. One example is a Speaker's Corner.



Public art brings arts and culture into the public realm, and enhances a community's sense of place and identity.



**Policy 10.2.2:** Continue to support the location of major civic facilities, cultural and performing arts facilities and uses within or adjacent to the City centre.

**Policy 10.2.3:** Support the enhancement and expansion of culturally diverse expression and private cultural facilities in the community through land use provisions permitting cultural centres and community centres within residential and commercial areas of the community.

**Policy 10.2.4:** Support the enhancement and expansion of spiritual expression in the community. The City supports the continued inclusion of religious and related facilities in residential neighbourhoods.

**Policy 10.2.5:** Continue to provide the use of public open spaces for community events and ceremonies, such as street festivals or park events, as per the Dawson Creek Temporary Road Closure and Event Manual.

**Policy 10.2.6:** Work with partners to fund a major public art initiative and/or installation in a highly visible area.

**Objective 10.3: Encourage the preservation and celebration of the community's heritage.**

**Policy 10.3.1:** Provide for the identification of the City's built, natural and intangible heritage resources by creating an Official Community Heritage Registry.

**Policy 10.3.2:** Institute a program of preserving and protecting the most significant built heritage resources, consistent with Part 27 of the *Local Government Act*. For example:

- a. Protect publicly owned properties on the Community Heritage Register through heritage designation.
- b. Introduce a program of heritage incentives.
- c. Seek opportunities to designate private properties listed on the Community Heritage Registry.

**Policy 10.3.3:** Invest in improving Dawson Creek's heritage facilities in order to make needed improvements to resident and visitor experience). Specifically address:

- a. The NAR Station Museum;
- b. Walter Wright Pioneer Village;
- c. A new community and municipal archives; and
- d. Other existing and proposed publicly owned facilities and resources.

**Policy 10.3.4:** Encourage an increase in public awareness and appreciation of Dawson Creek's tangible and intangible heritage with programs of education and interpretation.

**Policy 10.3.5:** Use heritage as an opportunity and a tool in community and economic development initiatives, building on existing initiatives such as the Downtown Beautification Plan.

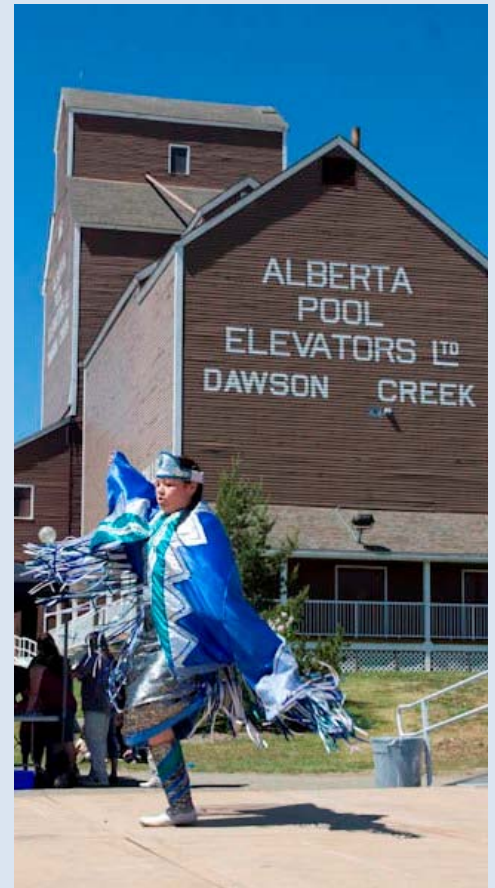
**Policy 10.3.6:** Ensure that heritage programs are inclusive and physically accessible to all segments of the Dawson Creek community.

**Objective 10.4: Engage with the First Nations community.**

**Policy 10.4.1:** In partnership with local First Nations, create an inventory of cultural and archaeological sites in the city to ensure they are properly protected or recognized, such as within the parameters of the Official Community Heritage Registry.

**Policy 10.4.2:** Engage local First Nations artists to implement public art features as a part of public and/or private development projects.

**Policy 10.4.3:** Actively promote involvement of First Nations community members in public celebrations and gatherings as performers, exhibitors or attendees.



Celebrating local heritage and culture involves creating opportunities to celebrate diversity.



## 11.0 Community Health & Safety

Dawson Creek will support residents, partner with community organizations, and adopt a more robust set of social planning policies.

### Why is Community Health and Safety Important?

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Ideally, a well-developed community will offer residents services such as quality childcare, education, adequate income, shelter, and safety. In addition to addressing our basic human needs, a healthy and safe community will increase quality and enjoyment of life. A network of holistic and accessible services allows all members of a community to thrive and enjoy a healthy lifestyle.

### Dawson Creek Trends

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- Dawson Creek faces a number of community health and safety issues such as drug abuse and aboriginal health issues.
- Community organizations provide many services to residents in Dawson Creek. Organizations in the community have worked to increase community safety by reducing harm created by substance usage and actively combating the use of drugs in the community.

- Through the Community Services Network, Dawson Creek service providers meet to share and learn about community services and programs, and network with other agencies.
- Northern Health Authority is responsible for the delivery of health care across Northern British Columbia, including the Dawson Creek and District Hospital and a range of other health care services.
- “Measuring Up the North” is active in Dawson Creek, which is an initiative that aims to create livable, age-friendly, disability-friendly, universally-designed, inclusive communities that benefit all citizens and visitors.
- The City of Dawson Creek has recently undertaken a number of studies and planning processes to address social issues such as health and safety, including a community safety survey, the development of a Social Plan, and a “Planning for Youth” initiative.

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*The policies in this section help deliver on the community’s goals, in particular:*

- *Foster social well-being through health, housing and education*
- 

## City Role

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While municipalities hold secondary or limited responsibility for many aspects of social justice, the City of Dawson Creek plays an important role in promoting a more inclusive, accessible, safe, and healthy community through its provision of recreational infrastructure and facilities, as well as its regulation of the built environment.

# Objectives & Policies

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**Objective 11.1.1:** Support increased access to a wide variety of community services for all residents.

**Policy 11.1.1.1:** Improve access to, and availability of, information regarding community services. Support plain language and clear communication and target immigrants and new residents to support a welcoming and socially inclusive community.

**Policy 11.1.1.2:** Continue to recognize and support the important contributions of volunteers and non-profit groups and agencies which bring significant value to the community.

**Policy 11.1.1.3:** Support integration of community services such as religious facilities, schools, care centres, group homes and seniors housing into residential areas, where appropriate.

**Policy 11.1.1.4:** Investigate and establish policies and guidelines for partial or full property tax exemptions for buildings owned or leased by non-profit organizations to provide social, cultural or recreational services and programs for public benefit.

**Policy 11.1.1.5:** Continue to explore ways to engage and support the immigrant population through City's civic engagement processes and leverage support from the business sector.

**Policy 11.1.1.6:** Review and implement the City's purchasing policies to prioritize local social enterprises in the bid tendering process on purchasing products and services.

**Policy 11.1.1.7:** Implement strategies that emerged from the "Measuring Up the North" initiative to position Dawson Creek as a leader in community accessibility for people with disabilities.

**Policy 11.1.1.8:** Provide universal physical accessibility in all civic buildings and facilities, and promote the same in all other new developments.



An inclusive community is accessible for individuals with a range of physical needs. Accessibility must be addressed in both the public and private realms, including buildings, recreational buildings, sidewalks and other transportation corridors.

**Policy 11.1.9:** Ensure all new sidewalks, crosswalks and transit stops are constructed for universal physical accessibility, including auditory traffic signals.

**Objective 11.2: Ensure a safe and secure environment for all members of the community.**

**Policy 11.2.1:** Improve city infrastructure as a crime prevention measure, including lighting improvements, beautification, and community clean-ups.

**Policy 11.2.2:** Utilize Crime Prevention Through Environmental Design principles (CPTED) in the review process for rezoning and development applications.

**Objective 11.3: Address the specific needs of children and youth in the community.**

**Policy 11.3.1:** Support access to affordable quality licensed childcare and preschool, including:

- Encouraging employer-supported child care;
- Maximizing regulatory incentives for the provision of child care facilities throughout the community;
- Encouraging early childhood development initiatives; and
- Partnering to create child day care spaces in unused spaces in City facilities.

**Policy 11.3.2:** Build on the “Planning for Youth” initiative by identifying opportunities to include youth in City decision making processes, including the investigation of informal participatory processes. This may include representation on committees of Council, and additional models that seek to gather input and foster participation and advocacy from youth.

**Objective 11.4: Support planning for a healthy community through social development initiatives.**

**Policy 11.4.1:** Ensure land use identifies and supports sufficient locations for health services in proximity to the City centre.

**Policy 11.4.2:** Support Northern Health in its effort to relocate the needle exchange program to the downtown. Continue to work with



Northern Health to identify the need for a mobile needle exchange program.

**Policy 11.4.3:** Assist agencies in applying for new treatment facilities through the development approval process by:

- a. Working with community groups and government agencies that have primary responsibility in creating a treatment centre in Dawson Creek, including a treatment centre specifically for youth; and
- b. Partnering with community organizations to improve transportation accessibility to the Pouce Coupe treatment facility.

**Policy 11.4.4:** Create a temporary safe drop-in space as a community after-care resource for those transitioning out of treatment.



## 12.0 Economic Development

**The City will aim to help create a sustainable, balanced and diversified economy that attracts new business and employment.**

### Why is this important?

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A diverse and stable economy contributes to quality-of-life, and is more sustainable when developed within ecological and social contexts. It can provide for stable employment – including employment for youth – resulting in support for community goods and services, capital investment, and property taxes that pay for City infrastructure and community services.

### Dawson Creek Context

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- The BC Stats Economy Dependency Index ranks the City of Dawson Creek as one of the most diversified local areas in British Columbia. This is beneficial for weathering a recession.

- The labour force includes over 6,200 people. Demonstrating the balanced nature of the economy, the largest employment sectors are retail trade (16% of the labour force), health care and social assistance (11%), accommodation and food services (10%), public administration (5%), transportation and warehousing (6%), construction and manufacturing (16%).
- As another demonstration of a diverse and balanced economy, a wide range of occupations exist in the City, including business, finance and administrating occupations (14%), management occupations (10%), health occupations (6%), social science, education, government service and religion (7.5%), sales and service (29%), trades, transportation and equipment operators and related occupations (20%), and primary industry (5%).
- Employment has grown for the emerging wind energy industry and for BC Hydro facilities that generate nearly 30% of its power through two generating stations on the Peace River.
- As new coal projects are developed, Dawson Creek will continue to be a major service and supply centre for the industry.
- The City has attracted more investment from retailers pursuing local and regional markets.

A key economic strategy for Dawson Creek is the pursuit of sustainable economic development, i.e. a diverse economy driven by the development and interaction of its diverse economic sectors - agriculture, oil and gas, forestry, the public sector and tourism.

Continuing efforts to develop and diversify the economy will have huge benefits for the City. These include more and stable employment, employment for youth, and population growth that in turn will fuel the demand for a wider range of community goods and services, increase capital investment and generate additional property taxes to pay for City infrastructure and community services.

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*The policies in this section help deliver on the community's goals, in particular:*

- *Foster economic development that supports the community's goals*
-

## City Role

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The City has a major role in enhancing efforts to create sustainable economic development as its policies, programs, and investments can serve to support business and the local economy. For example, effective land use planning and public realm investments can serve to increase the aesthetic appeal of a downtown, attracting residents, shoppers, and other visitors.

## Objectives and Policies

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**Objective 12.1:** Ensure commercial and industrial development occurs in a manner that is efficient and beneficial to both the community and business proponents.

**Policy 12.1.1:** Strategically focus commercial and industrial development to encourage their success and help meet the community's sustainability goals. (Refer to policies in Section 3.0 dealing with commercial and industrial land use.)

**Policy 12.1.2:** The City will ensure that policies, zoning regulations and supply of commercial and industrial land are favourable and adequate to attract business to Dawson Creek.

**Policy 12.1.3:** The City will update its "Economic Development Plan" to promote and attract commercial and industrial businesses to the City.

**Policy 12.1.4:** The City will ensure there is an adequate supply of land suitably located to meet the needs of commercial and industrial businesses.

**Objective 12.2:** Work with the business community, investors and public to promote new and sustainable commercial and industrial development in the City.

**Policy 12.2.1:** The City will work with the business community, investors and the public to encourage more compact forms of commercial and industrial development and to explore mechanisms that improve the urban environment and "fit" with surrounding neighbourhoods.

**Policy 12.2.2:** The City will support the development of a commercial hierarchy that will develop diverse commercial nodes including mixed use commercial and residential areas (e.g. downtown and surrounding areas), highway commercial, and neighbourhood commercial nodes for emerging residential areas.



Smaller-scale retail and commercial uses tend to be more pedestrian-oriented, locally-owned, and unique in terms of character and aesthetic appeal.

**Policy 12.2.3:** The City will continue to promote its outdoor resources as a theme for the tourist commercial sector.

**Objective 12.3:** Support home-based businesses as significant generators of new jobs while minimizing the adverse impacts on neighbourhoods.

**Policy 12.3.1:** Support home-based businesses (e.g. artisans, home offices, etc) as important contributors to the local economy, and facilitate the growth of this sector by reviewing the Zoning Bylaw to incorporate regulations that support and promote home-based businesses and by adopting performance-based criteria that minimize the impacts of home-based businesses on its surroundings.

**Policy 12.3.2:** Permit home-based commercial and some light industrial businesses in all dwelling units in all parts of the community where residential uses are permitted, particularly in and near the downtown.

**Policy 12.3.3:** Develop city-wide home-based business regulations that address parking and other relevant issues to ensure compatibility of uses.

**Objective 12.4:** Promote Dawson Creek as the regional destination and centre for knowledge and education.

**Policy 12.4.1:** Support student and live-work housing opportunities, focusing on the downtown and proximity to Northern Lights College.

**Policy 12.4.2:** Support partnerships with academic institutions where innovative projects are identified.

**Objective 12.5:** Promote downtown as a unique business centre and focus for tourism, and promote tourism overall.

**Policy 12.5.1:** Build on existing efforts and focus public realm investments in the downtown to increase its attractiveness to residents and visitors as a place to work, shop, live, learn, and visit. Encourage the use of international symbols on signs.

City of Dawson Creek Tourism Goals:

- 1) **Management and Planning, Information Management and Research and Communications:** To sustain an effective tourism management function to ensure leadership, organizational capacity, adequate funding, research-based planning and open communications that support tourism stakeholders and the community in achieving the vision for tourism while integrating sustainability into every day decision making;
- 2) **Destination Development:** To deliver a quality visitor experience by enhancing destination development and appeal for visitors through attracting infrastructure investments from local, regional, provincial, national and private sources while integrating sustainability into everyday decision making;
- 3) **Product Development:** To diversify the local economy through strategic expansion of the tourism industry as a way of expanding the tax base, and increasing jobs and income available to residents while balancing community values while integrating sustainability into everyday decision making;
- 4) **Business and Industry Development:** As an integral element of industry growth, to foster business and industry development that complements and strengthens products and attractions of most appeal to visitor markets and cultivates a welcoming community while integrating sustainability into everyday decision making;
- 5) **Marketing:** To encourage tourism operators to consistently and strategically market the area to target markets by working cooperatively and in collaboration with community stakeholders to leverage resources wherever possible in the community while integrating sustainability into every day decision making;
- 6) **Visitor Services:** To maintain the visitor services programming to integrate with increase with increased tourism activity, providing a seamless experience for the visitor;
- 7) **Visitor Experience:** To develop a strategy that focuses on providing exceptional experiences and excellent value to extend the stay and increase visitation and recommendations that will position Dawson Creek as a preferred destination. The strategy will address the pre, core, and post visitor experience and will guide tourism stakeholders in the delivery of an exceptional and consistent message while integrating sustainability into every day decision making.



**Policy 12.5.2:** Support the vision of the City's Tourism Plan, which aims to position the tourist industry as a catalyst for economic sustainability while increasing the social, environmental and cultural awareness and quality of life for residents while providing a world class visitor experience to our visitors.

**Policy 12.5.3:** Support the goals contained in the City's Tourism Plan (previous page).

**Objective 12.6: Support green and sustainable business.**

**Policy 12.6.1:** Where feasible, provide incentives to green and sustainable businesses to increase their viability and attract their establishment and development in Dawson Creek.

**Policy 12.6.2:** Continue supporting a culture of green entrepreneurialism by building Dawson Creek's brand – in part – as an innovator in sustainability and business, particularly in the renewable energy sector. The City's "Sustainable Dawson Creek: Planning for People" efforts have already reached great success in this regard, and should continue being supported.

**Policy 12.6.3:** Continue building capacity for sustainable economic opportunities by spearheading and partnering on green pilot projects, such as the biofuel initiative at the South Peace Community Multiplex (please refer to Section 8.0).

**Policy 12.6.4:** Assist developers and employers with their site selection activities.



The City of Dawson Creek is already a known leader and supporter of green and sustainable business. Green businesses not only help a community reduce its ecological footprint, they also introduce innovation and green jobs into the local economy.



## 13.0 Inter-Jurisdictional Planning

The City will continue to work with the Regional District and other jurisdictions on issues outside the City boundaries but that affect the City's residents.

### Why is this important?

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Inter-jurisdictional planning allows for the collaboration between the City and the Regional District, Provincial Ministries and Federal Agencies on the preparation of plans that manage properties, projects or transportation decisions which cross municipal boundaries or have a direct effect on municipal activities or prosperity.

### Dawson Creek Context

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- The Peace River Regional District is currently drafting a Fringe Plan to address management of lands just outside the municipal boundaries. This includes land areas for residential subdivision.
- A Comprehensive Development Plan for the South Peace was completed in 2005 (equivalent to a Regional Growth Strategy), and was a local government partnership between the City of Dawson Creek, the Peace River Regional District and the Village of Pouce Coupe to understand and manage growth in the region.

- Historically, the City has provided some servicing and services to land owners directly adjacent to City boundaries, where infrastructure was already in place. However, generally, the City's position is to not provide services and servicing unless land area is included within the municipal boundaries.
- The BC Government Strategic Plan affects economics in the region and therefore growth and industry in and around the City.
- Private or Crown lands are important to resource-based industry and these activities affect the growth, economics and environmental conditions (habitat, water quantity and quality, etc.) within and surrounding the City. As a primary transportation hub, the City's rail network and associated lands are important to economic development of the City.
- The Agricultural Land Commission (ALC) is a provincial agency which administers the Agricultural Land Reserve (ALR), whose purpose is to protect agricultural land and encourage farming. The ALC has jurisdiction of over 450 ha of ALR lands within the City of Dawson Creek. The Commission, in 2005, working the Peace River Regional District and the City of Dawson Creek, identified ALR lands suitable for residential, commercial, and industrial uses. The Commission and the City will work together through the ALC application process to ensure that lands identified for urban development are built out in a phased and orderly manner.

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*The policies in this section help deliver on all of the community's goals, as Dawson Creek's sustainability is partly dependent upon the larger regional context in which it develops and thrives.*

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## City's Role

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The City can provide input and influence through comments or formal agreements on projects or planning processes (Peace River Regional Plans) which exist within the influence or affect residents in Dawson Creek.

## Objectives & Policies

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### **Objective 13.1: Build a strong relationship with the Regional District.**

**Policy 13.1.1:** The City will consult with the Peace River Regional District regarding uses in the City that may affect an area of the Regional District.

**Policy 13.1.2:** Encourage the Peace River Regional District to consult with the City. Continue to participate in the Regional District planning process (Commons) regarding decisions on land use and development that may affect the City or be in conflict with the goals of this Official Community Plan.

**Policy 13.1.3:** The City will continue to participate with the Peace River Regional District's Sustainability Commission on issues related to land use and growth, transportation, air quality, water and energy.

**Policy 13.1.4:** Where large scale inter-jurisdictional planning processes and projects occur, encourage the formation of a committee or working group to advise both Municipal Council and Peace River Regional District throughout the process.

### **Objective 13.2: Discourage new uses from locating outside and near the City boundaries if they will have a negative impact on the City's future sustainability.**

**Policy 13.2.1:** The City will not service or provide servicing to residential subdivisions, commercial or industrial uses that locate outside and near City boundaries if they will have a negative impact on the City's sustainability (e.g. in terms of economic development, air quality, increases in vehicle-oriented patterns, etc.).

### **Objective 13.3: Maintain a strong working relationship with nearby communities.**

**Policy 13.3.1:** The City will maintain current agreements in place for water supply to Pouce Coupe and partner on future reservoir



Collaborative planning between the City and the Regional District can ensure that mutually-beneficial strategies meet objectives for both jurisdictions.

expansion where policies for management and water supply protection are consistent and aligned.

**Policy 13.3.2:** Encourage beneficial partnerships with nearby communities, where appropriate.

**Objective 13.4: Support and work with government agencies on issues that affect the City's residents.**

**Policy 13.4.1:** The City will maintain current agreements with Provincial Agencies (i.e. Fresh Air Agreement) and work to outline or support new agreements beneficial to City residents (i.e. agreements with the ALC for development of lands located within the City limits).

**Policy 13.4.2:** The City will support economic development opportunities within the region that are aligned with and balance the sustainability planning goals of the City (e.g. Bear Mountain Wind Farm is an example).

**Policy 13.4.3:** The City will work with government agencies to manage and protect water resources.

# **PART III**

## **IMPLEMENTATION**



## 14.0 Sustainability Checklist

The Dawson Creek Sustainability Checklist is used to assist staff and City Council in the assessment of development applications with respect to the City's overall future vision and community goals. The submittal of a completed Sustainability Checklist will be required for the following types of development:

- Official Community Plan Amendments;
- Zoning Bylaw Amendments; and
- Subdivision, Development, or Development Variance Permits.

All applicants are required to review and complete the checklist and if necessary, provide a supplementary letter explaining in detail how the proposed development incorporates the listed objectives and policy directions. Applicants are required to submit the completed checklist to City staff with their completed application.

The Sustainability Checklist is attached to this Official Community Plan as Appendix A.

## 15.0 Plans, Bylaws, Permits & Programs

### Bylaws

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Implementation of policies contained in this Official Community Plan will be achieved through the amendment or creation of the following bylaws that regulate the use and subdivision of land consistent with the provisions of this plan.

- Development Cost Charges (based on location and servicing requirements, unit square footage, etc. as well as use);
- Zoning;
- Subdivision and Servicing
  - This may also include allowing for relaxed minimum servicing standards (e.g. road widths, and off-site sanitary and drainage requirements);
- Parking; and
- Water Conservation Measures.

### Additional Studies, Planning, Programs or Initiatives

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This OCP has incorporated all new plans developed to date (2009). This OCP recommends that the following additional planning updates or strategies are considered to support policies in this plan:

- Transportation Plan (including transportation demand management (TDM) strategies);
- Tree Protection/Tree Planting/Replacement Program;
- Building Sector Training Program for developers;
- Green Social Marketing Strategy (e.g. that profile the City's sustainability planning);
- Cultural Master Plan;
- Heritage Master Plan;
- Community Economic Development Strategy/Plan;
- Winter City Design Guidelines;
- Demonstration Programs (i.e. for biofuel, district energy, etc. in partnership with academic institutions, other jurisdictions, etc.);
- Public Art Policy; and
- Fauna and Flora Assessment.

## Permits

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This OCP outlines requirements and promotes a higher sustainable standard for new development. The City may consider the following incentives to encourage and support this development:

- Discounted building permit fees for use of 'green' strategies;
- Fast-tracked process for permit approval where 'green' strategies are met; and
- Relaxed standards and variances allowed where OCP goals are clearly met.

## Municipal Expenditures

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Council may prepare a municipal expenditure program based on the Official Community Plan and continue a process of fiscal planning in order to achieve the objectives and policies of this Plan in the most cost effective manner.

## Community Partnerships

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Some policies within this Official Community Plan concern physical appearance, beautification, economic development and quality of life. Such policies can be partially or fully implemented in the context of the Community Enhancement Plan – Community Partners Adoption Program. The Community Enhancement Plan outlines what community enhancement projects the City wishes to achieve, general cost estimates, and the prioritization and timing of when these projects will be undertaken. The City will work with property owners, residents, service clubs, the Beautification Committee, the Chamber of Commerce and other community groups to implement the recommended improvements of the Community Enhancement Plan.

Additionally, partnerships can be explored with academic institutions and local non-profit organizations to meet some of the goals of the OCP or to implement demonstration projects that show or test how innovation in sustainability (energy efficiency, etc.) can be achieved.

# **PART IV**

## **DEVELOPMENT PERMIT AREA**

## Basis for Designation

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The designation of Development Permit Areas is pursuant to Section 919.1 of the *Local Government Act*.

## Exemptions

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Development permits are not required within the specified development permit areas under the following conditions:

- For any residential building other than a residential building that contains a non-residential use on the ground floor; and
- For the following minor alterations:
  - Interior renovations;
  - Exterior maintenance requiring the repair or replacement of existing surface materials and colours;
  - Changes to plant material in established landscape areas;
  - An alteration that is limited to the addition, replacement or alteration of doors, windows, building trim or roofs; and
  - Small additions that result in less than a 25% increase in floor area beyond the floor area that existed at the date of adoption of this bylaw.

## Application Submission Requirements

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Every development permit application shall be accompanied by:

- a. A plan showing existing and proposed grades (including details on retaining walls), toe of slope, top of bank, or any watercourse setback area. The boundary of the watercourse setback area shall be physically located on the ground by a BC land surveyor, and the mapping of toe of slope and top of bank shall be based on survey data.
- b. For areas proposed to be disturbed, a slope analysis plan at the same scale as the plan required in (a) above.

- c. In the case of residential subdivision, a lot layout plan superimposed on the plans referred to in (a) or (b) above. Each lot shall indicate a suitable building envelope.
- d. In the case of multi-family residential, institutional, and commercial projects, a site plan showing buildings and structures, parking areas, access, circulation elements, toe of slope, top of bank, and any watercourse setback areas that are located on or that abut the site.
- e. A plan showing areas to be cleared and areas of cut and fill, and the proposed sequence and timing of the clearing and recontouring operation.
- f. A plan showing selected cross-sections through the site if required.
- g. Where the subject site includes slopes in excess of 20%, a report prepared by a Professional Engineer, with experience in soils and/or geotechnical analysis, setting out conditions and requirements appropriate to ensure slope stability.
- h. Plans signed and sealed by a Professional Engineer, showing any works and measures to be carried out under the permit to satisfy the above-mentioned objectives. The Professional Engineer shall: (a) certify that the works and measures detailed in the plans shall be sufficient to satisfy these objectives; (b) attest that she/he will supervise, and has been authorized by the developer to supervise, the carrying out of such works and measures to ensure that they are carried out in accordance with the said plans and the terms of any development permit issued hereunder; and (c) upon completion of the said works and measures and prior to the issuance of any building permit or final subdivision approval on lands which are subject to a development permit issued hereunder, certify that all works and measure have been carried out in accordance with the plans and the terms of the development plans.
- i. Other information as may be necessary to assess the development proposal, directed by the City, this may include (but not limited to):
  - a. Landscaping plans (grassed areas, flower beds, trees, parking areas etc.);
  - b. Building finish (type of siding, colour);
  - c. Pictures if available; and
  - d. Proposed phasing of development.





## **16.0 Multi-family Residential, Commercial & Light Industrial Development Permit Area**

### **Description**

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The designation of the Development Permit Area is pursuant to Section 919.1 of the *Local Government Act*, which allows an Official Community Plan to use a Development Permit for the: “establishment of objectives and the provision of guidelines for the form and character of commercial, industrial or multi-family residential development”; “establishment of objectives to promote energy conservation” and “the reduction of greenhouse gas emissions”; and the “establishment of objectives to promote water conservation.”

### **Area**

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The development permit area includes all multi-family, commercial and light industrial that fall within the downtown core and designated Infill/Redevelopment area, as well as those areas designated as neighbourhood commercial, service commercial, and light industrial as shown on the Community Land Use Map (i.e Map 2 of the Official Community Plan).

# Justification

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## Form and Character

The establishment of guidelines to regulate form and character has the following objectives:

1. Create a high quality public realm;
2. Preserve the form and character of neighbourhoods;
3. Ensure safe and accessible neighbourhoods; and
4. Promote sustainable design.

## Water Conservation

Risk of drought, low water supply flows and water quality issues in Dawson Creek are increasing, and developing alternative, more distant sources involves large capital investments and additional operating costs. At the same time, overall water consumption in Dawson Creek has been increasing significantly in recent years. To limit the cost of water supply infrastructure, protect the ecological integrity of the related aquatic environment, and reduce energy and greenhouse gas emissions associated with supplying water to Dawson Creek, water conservation measures are needed. Existing provincial regulations address indoor water efficiency, however additional measures are needed to ensure outdoor water efficiency best practices are implemented in new development, leading to long-term, “smart” water use.

As such, additional objectives of this Development Permit Area are to:

5. Moderate water demand in the City to mitigate water supply risks and associated cost exposure, and to minimize impacts on aquatic ecosystems; and
6. Reduce outdoor water use for landscaping in new construction by 30% compared to typical existing practice.

## **Energy Conservation**

Continuing population growth in Dawson Creek means that more energy will be required to meet future needs. Dawson Creek is fortunate to be located in a region with tremendous fossil and renewable energy producing potential. To date, significantly more effort has been invested in developing the fossil resources compared with the renewable potential. Because traditional fossil energy sources are subject to unpredictable price volatility and uncertain future availability (that is dependent on world markets more than local supply), energy conservation and diversification of the energy sources that residents and businesses use is an effective “future proofing” strategy that will also save end-users money in the short and long term.

As such, additional objectives of this Development Permit Area are to:

7. Increase the energy security of residents and businesses through facilitating the adoption of building-scale renewable energy generation technology in Dawson Creek; and
8. Increase the total share of renewable energy as a percentage of total building energy use to deliver on the City’s GHG emission reduction commitments (14% below 2006 levels by 2012, 33% below 2006 levels by 2020, 85% below 2006 levels by 2050).

# Multi-Family, Commercial and Light Industrial Form and Character Guidelines

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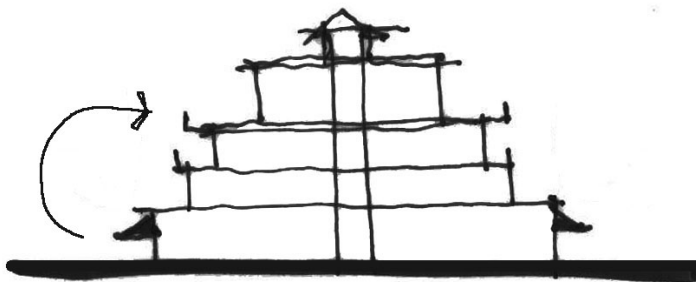
## CREATE A HIGH QUALITY PUBLIC REALM

An attractive, vibrant, and safe public realm is a requirement for creating a livable Dawson Creek. In both residential and commercial areas (including mixed use areas), streets and open space should be visually pleasing, comfortable, and safe. The following elements contribute to a high quality public realm:

- **Definition** - the degree to which buildings and trees enclose public space;
- **Vitality** - the vibrancy and safety in the public realm resulting from adjacent publicly oriented active uses at street grade, façade treatments and 'eyes on the street'; and
- **Texture** - the arrangement of pedestrian amenities and other visual elements such as street trees, signage, landscaping, street furniture, paving materials, and parking.

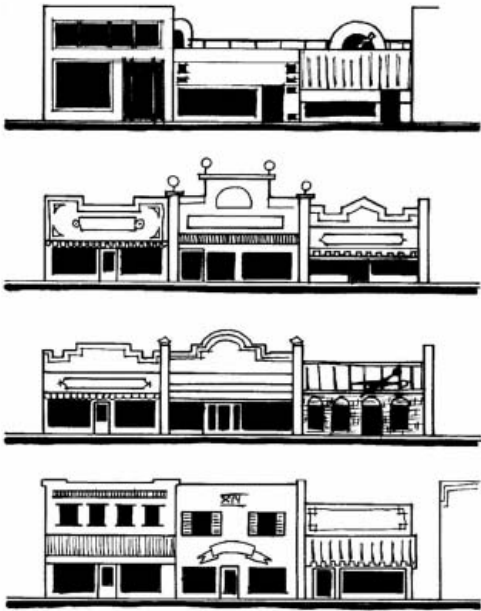
## DEFINITION

**Guideline 16.1:** All new buildings within the downtown core are encouraged to be within 2 stories of the scale and height of neighbouring buildings. Any building greater than 2 stories of surrounding development should be stepped back from the street frontage and possibly at the side yard to reduce the visual impact of a taller building.



**Figure 1.** Step back buildings that exceed the height of surrounding buildings.

**Guideline 16.2:** Façade design for downtown businesses should be either modern or traditional styles that address the street and provide visual interest.



**Figure 2.** Adopt a greater level of design for downtown business facades either as modern or traditional styles, but all adding to the benefit of the streetscape.

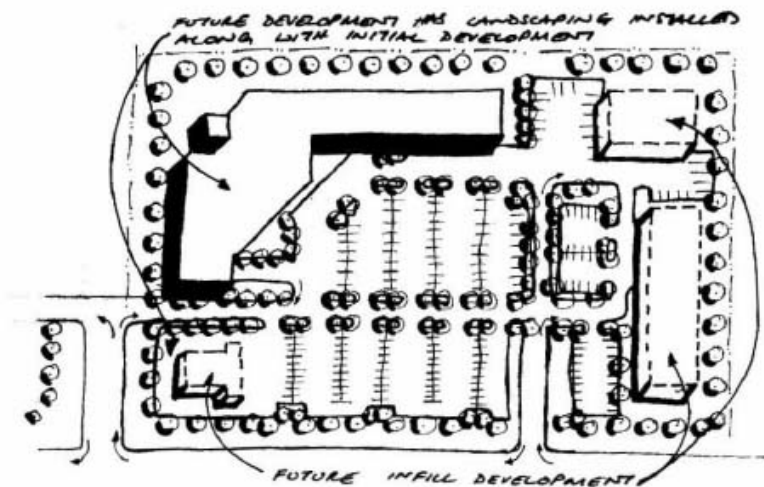
**Guideline 16.3:** In the downtown core and neighbourhood commercial nodes, building setbacks should be minimized and street trees shall be maintained and/or provided to create a strong street definition.



**Figure 3.** Framed streets create a sense of enclosure that makes the public realm more enjoyable, walkable and safe.

## Sequence of Development

**Guideline 16.4:** Sequence and timing will be considered for phased developments to encourage orderly and cost efficient development, recognizing priorities, market demands and completion sequences. New phases should not be started until previous phases have been completed. The area designated for future phased development should be landscaped, however temporary, and kept clear of debris and construction materials. Construction should follow immediately after any site clearing.



**Figure 4.** New phases of development should not commence until previous phases have been completed.

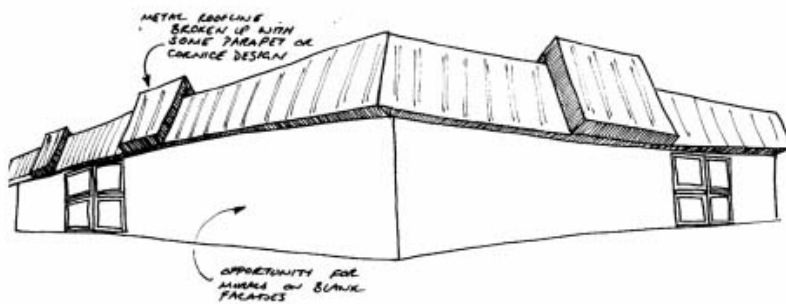
## VITALITY

### Façade Treatment

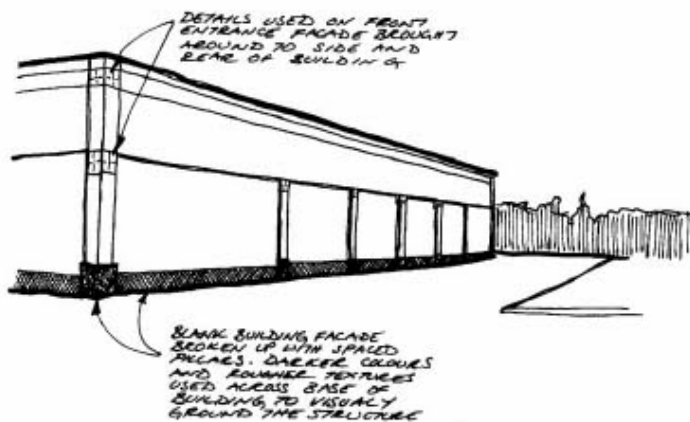
**Guideline 16.5:** New developments are required to mix colours, textures and materials on blank walls, and produce human scale vertical breaks in lines.

**Guideline 16.6:** The display of murals on blank walls is encouraged, particularly if they are regionally representative with a rural, heritage or agricultural theme.





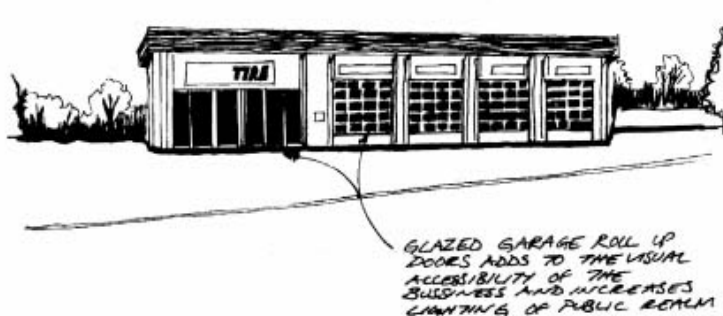
**Figure 5.** Building architecture that includes blank walls as facades of single structural or cladding type construction materials as glass, block work or corrugated sheet metal is strongly discouraged.



**Figure 6.** A blank wall can be broken up with windows, pillars, colours and other material details.

## Transparency

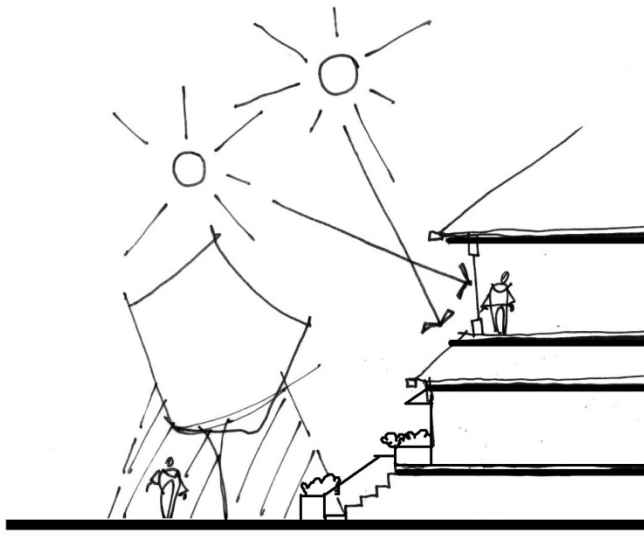
**Guideline 16.7:** Active, permeable, ground-oriented facades shall be applied to all mixed use, commercial and light industrial buildings that face the street.



**Figure 7.** Enhance a businesses function or operation by making that facility more visually accessible by increasing the area of glass. Opportunities of advertising will be realized by passing public as potential customers. Having a degree of transparency exposes the business in a way that mere text signage will not express.

## Lighting

**Guideline 16.8:** Ensure minimal over-spill illumination of any adjacent residential properties or green spaces. All lighting should be designed to minimize the effect of lighting the night sky as light pollution. Quality and direction are paramount.



**Figure 8.** With the shorter daylight winter hours of this northern community, daylight can be maximized by utilizing existing lighting within the building. Transparent frontages allow light to both enter into the building, and spill out into the streetscape and enhance the street or district contributing greatly to creating a safer environment.

## TEXTURE

### Amenities

**Guideline 16.9:** Public amenities (such as landscaping, public art, or material treatments) at the street level may be required in commercial, mixed use, and multi-family developments.

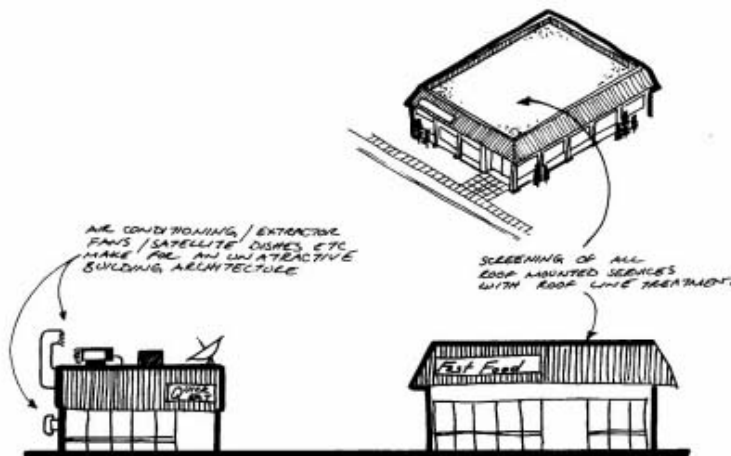


**Figure 9.** Spaces between building frontages and the street curb are activity zones that activate and create a vibrant street.

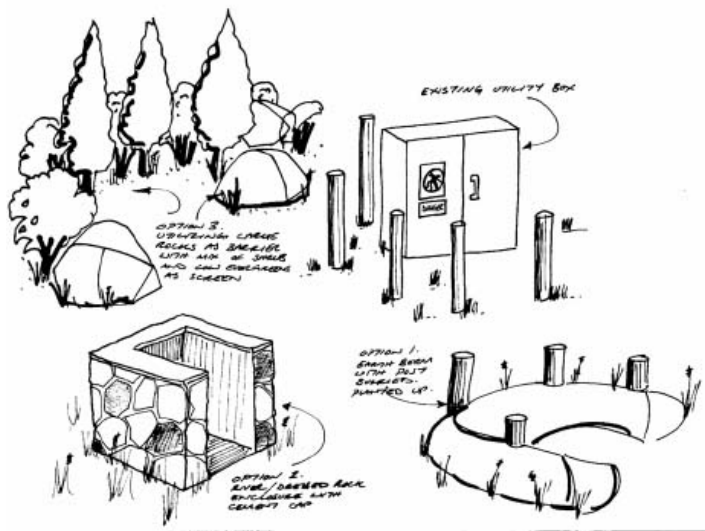
## Screening

**Guideline 16.10:** All building roof mounted services should be visually screened in such a way that this screening acts as a coordinated and integral part of the building's architecture.

**Guideline 16.11:** Screening of other elements directly or indirectly associated with a building such as hydro transformer boxes, dumpsters, ground mounted façade lighting, gas meters, ventilation intakes, etc. should be in a style fitting to the materials and colours used in the building, or using shrub and low evergreen tree plant material as a screen.



**Figure 10.** Placement of air conditioning units, extractor fans, satellite dishes, chimney vents and aerials on building roofs does little to enhance the architecture of a building by breaking up roof lines with a mixture of awkward shapes, sizes, textures and colours seen seemingly as add-ons.



**Figure 11.** Options for screening visually unappealing elements are wide-ranging.

## Materials

**Guideline 16.12:** A materials selection palette should be submitted with the development permit application as direct samples of those products intended to be used with appropriate finish and colour achieved. Materials<sup>5</sup> proposed should respect the quality and character of the particular development permit area, while promoting a vibrant quality and adding to the neighbouring businesses by being a visual asset to the streetscape as a whole<sup>6</sup>.

**Guideline 16.13:** The combination of materials is encouraged whereby a primary facing has a secondary material used to accentuate windows, doors, cornice line, signage, lighting, doorways, etc. The accent material(s) used should highlight the feature it is addressing while complimenting, promoting and enhancing the primary finish.

## Landscaping

**Guideline 16.14:** A final landscape plan that follows the BC Society of Landscape Architects Standards for plant material species list, plant sizing, growing medium, mulch, irrigation, etc. with specification for review by City staff is required.

<sup>5</sup> Materials should be preferably natural products in as much as they are recognizable as requiring a skilled crafts person for their installation. Materials will radiate a sense of strength, permanence, warmth and craftsmanship through their use.

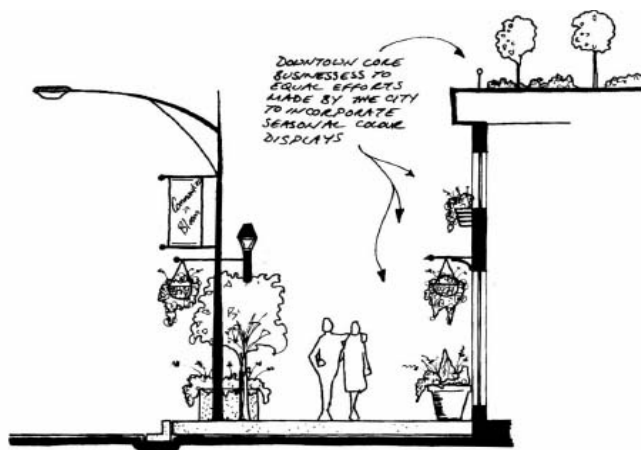
<sup>6</sup> With the choice of materials as structure and façade treatment, often it is not the nature of the material which determines its suitability but rather the manner in which it is used (i.e. large stretches of corrugated metal siding on the primary façade of the building is not generally acceptable, yet using it as a colour/texture accent or stamped metal as decorative flashing is encouraged).

**Guideline 16.15:** Ensure the use of native hardy plant species that are drought tolerant, as well as edible species to encourage local food production.

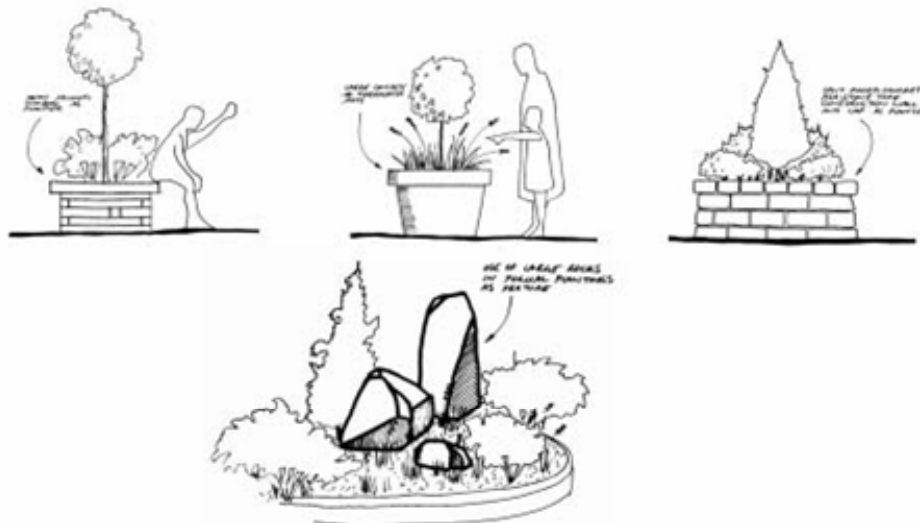
**Guideline 16.16:** Ensure every opportunity for inclusion of soft landscaping should be explored as options for softening building facades, framing doorways, parking lot islands, berming, hedging, floral display plantings, etc. seen as trees, shrubs and ground covers.

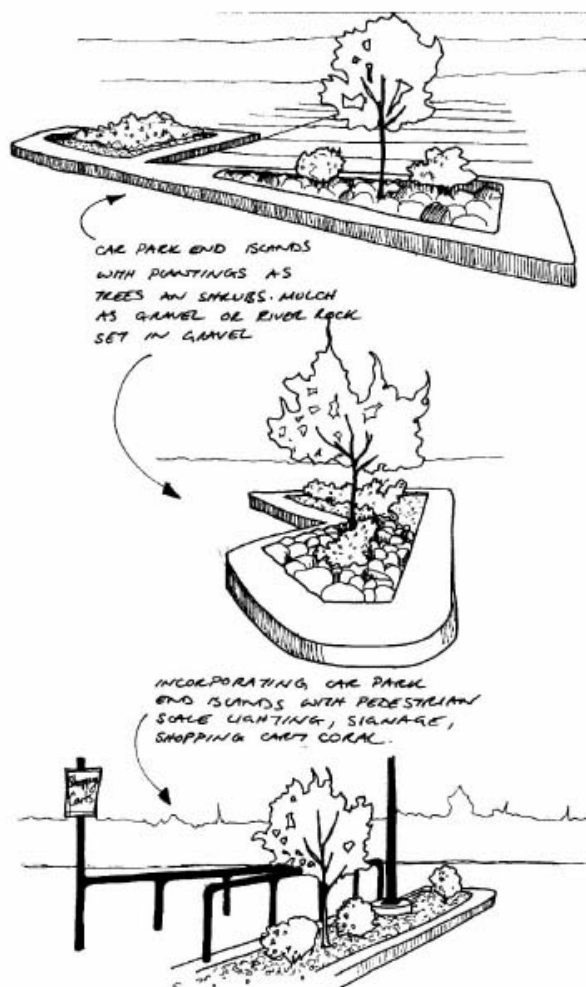
**Guideline 16.17:** The use of large concrete or wooden planters that could accommodate seasonal plantings as display in commercial areas is strongly encouraged.

**Guideline 16.18:** Hard landscaping in the form of use of river rock or large rocks in combination with soft landscaping is encouraged for delineating parking areas and directing pedestrian movement.



**Figure 12.** Integrating landscaping into streetscapes can include green roofs, planters, street trees, street furniture, and more.





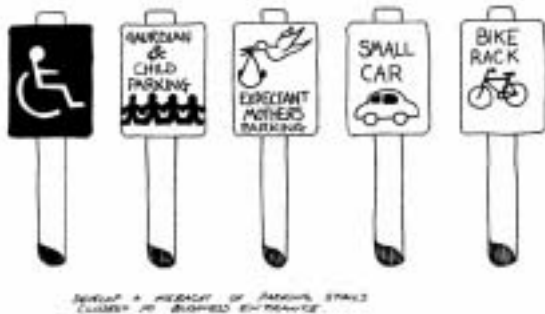
**Figure 13.** Landscaping is an effective option for screening and increasing the aesthetic appeal of parking areas.

## Parking

**Guideline 16.19:** New developments must provide safe and efficient vehicle access to entrances, exits and site circulation that comply with the Ministry of Transportation and Highways' guidelines and ICBC Safety Design Guidelines for Parking Facilities. Parking access and exit design must not encourage left turns into or from the site.

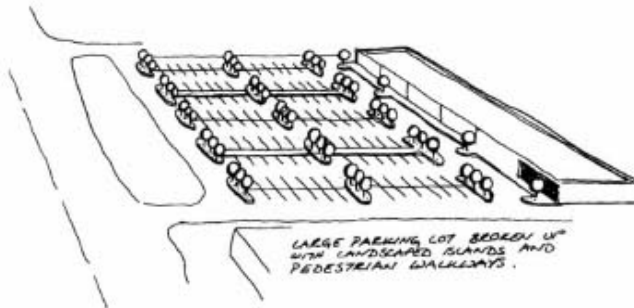
**Guideline 16.20:** Site should be designed in a way that accommodates and encourages alternate modes of transportation with provisions made for pedestrian sidewalks, bicycle and walking paths, bicycle racks and disabled access as a cohesive safe and linking network.





**Figure 14.** Parking areas should encourage alternate modes of transport.

**Guideline 16.21:** Parking lots should be located at the side or rear of buildings rather than the front. Parking areas should be well identified from the road.

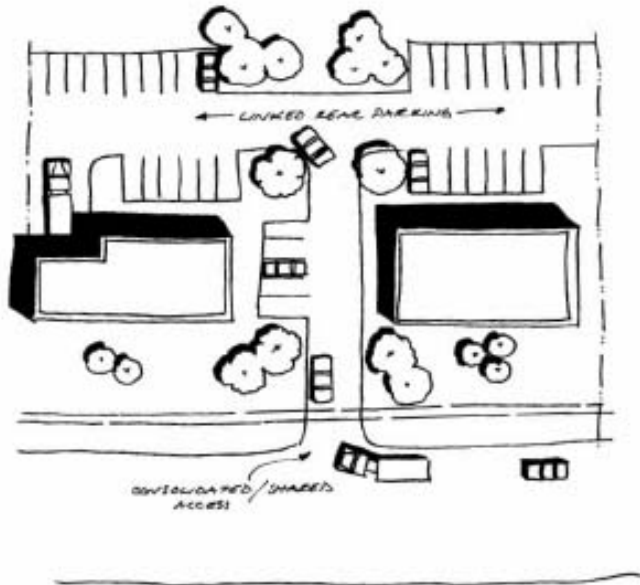


**Figure 15.** Parking should be located at the side or rear, not at the street front.

**Guideline 16.22:** Large parking areas should be broken into smaller groups that create landscaped islands and pedestrian walkways.

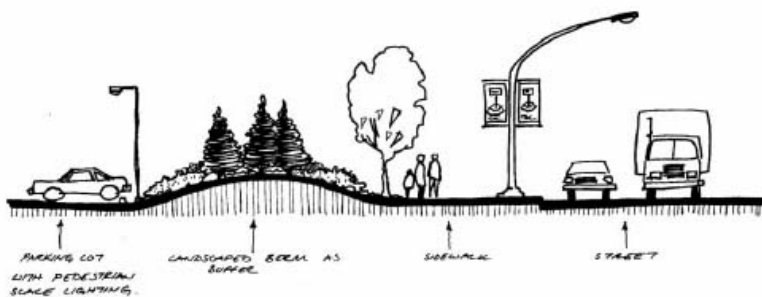
**Guideline 16.23:** Where possible, consolidated access should be explored for reducing the number of highway access points while encouraging the sharing of a circulation infrastructure.

**Guideline 16.24:** A landscaped minimum of one tree required per ten parking stalls provided. Planted as an individual specimen or grouped in threes or fours in islands.



**Figure 16.** Large parking lots should be broken up with landscaping and pedestrian walkways. Also, linked adjoining parking areas are encouraged in order to further reduce the number of turns both on and off of the major roads and aid motorist access to adjoining businesses. The placement of structures such as fences and other barriers that prevent on site vehicular movements from one property to another is discouraged.

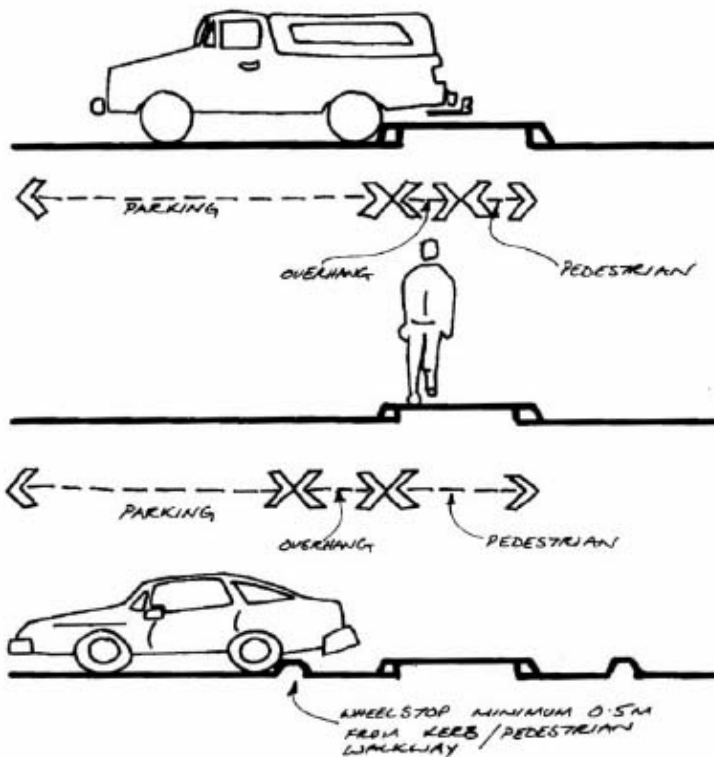
**Guideline 16.25:** Visual impact of parking areas from the street may be softened through judicious use of berming, planting and mulches.



**Figure 17.** Soften the visual impact of parking areas.

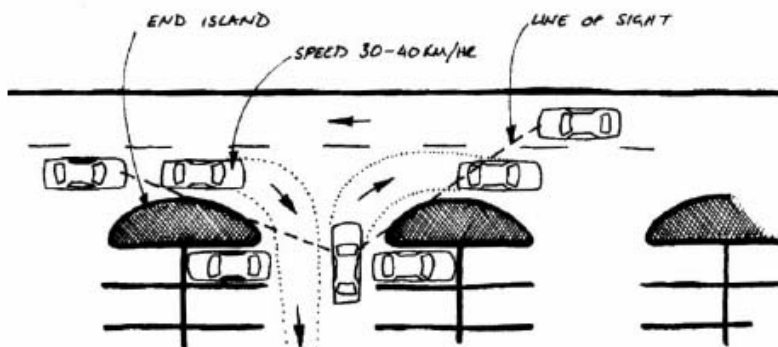
**Guideline 16.26:** All parking areas should be hard surfaced and curbed. In low use or overflow areas, permeable or grass parking is encouraged.

**Guideline 16.27:** Parking stalls adjacent to pedestrian, bicycle or wheelchair paths should have at least an extra 0.5m boulevard to allow for vehicle overhang.



**Figure 18.** Parking stalls adjacent to pedestrian, bicycle or wheelchair paths should have at least an extra 0.5m boulevard to allow for vehicle overhang.

**Guideline 16.28:** The provision of the “end island design principles” is highly recommended within parking lots as a terminus to parking aisles in order to create areas of refuge for pedestrians, provide safer sight lines for vehicle circulation and to delineate parking stall end points and hierarchy.



**Figure 19.** The provision of the “end island design principles” is highly recommended within parking lots.

## Signage

**Guideline 16.29:** All commercial and light industrial development is required to abide by the City's Sign Bylaw in addition to those in this section.

**Guideline 16.30:** Only what is absolutely necessary to be posted and visible to the passing motorist is encouraged to reduce the total volume of signs. No private signs are permitted in the public right-of-way.

**Guideline 16.31:** The number of messages on a single sign should be limited to those which can be read at the posted driving speed without impairing safety.

**Guideline 16.32:** Signs should be installed on landscaped or decorative bases.



**Figure 20.** The clutter generated by signs in commercial districts, particularly along the City gateway entrances, through retailers and fast food outlets attempts at out-competing neighbouring businesses with bigger, bolder messages designed in some way to distract the passing motorist for their attention, does little to distinguish Dawson Creek from any other North American highway commercial district. The quality and character of downtown signage is particularly important given its important role in the character and identity of the community.

**Guideline 16.33:** Signs should complement the architectural character, design and materials of the related building. Franchise holders must work closely with City staff in order to realize the City's intent for having sign design guidelines without compromising their franchise commitments.

## **PRESERVE FORM AND CHARACTER OF NEIGHBOURHOODS**

**Guideline 16.34:** All new development shall respond to surrounding buildings as it relates to scale, height and setbacks.

**Guideline 16.35:** The unique character of the City and its surroundings shall be recognized when considerations are being made for development. Without promoting only one particular theme or identity there are some very strong cues existing that distinguish Dawson Creek as a proud, economically viable and vibrant community, including:

- Mile 0 of the Alaska Highway;
- Mile 0 logo;
- Grain elevators;
- Open prairie landscape;
- Agriculture;
- Pioneer settlement;
- NAR site;
- Forestry;
- Railway;
- Heritage;
- Northern City;
- Gateway to the Peace Country;
- Arts and culture; and
- Sports and recreation.

By recognizing the City's own commitment to enhancement in the public sector, this too can be matched in the private realm by having a clear understanding of the surroundings and reflecting this through development as a concerted effort to the benefit of local businesses and the community as a whole.

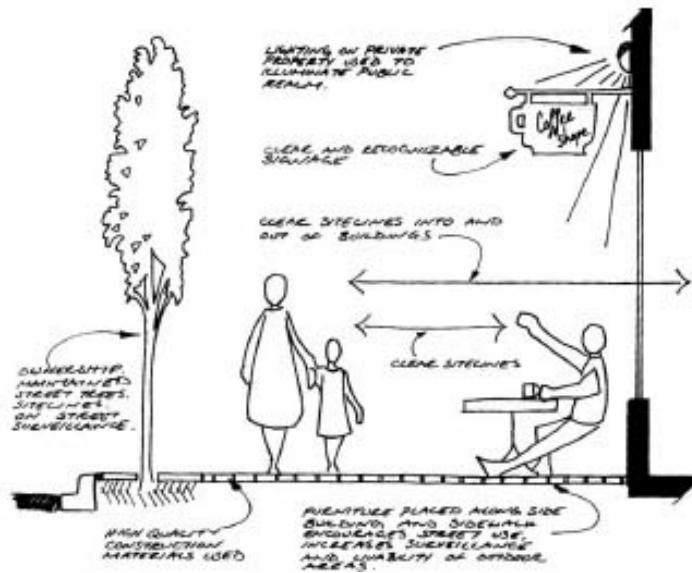
## **SAFE NEIGHBOURHOODS**

### **Crime Education and Prevention Through Environmental Design**

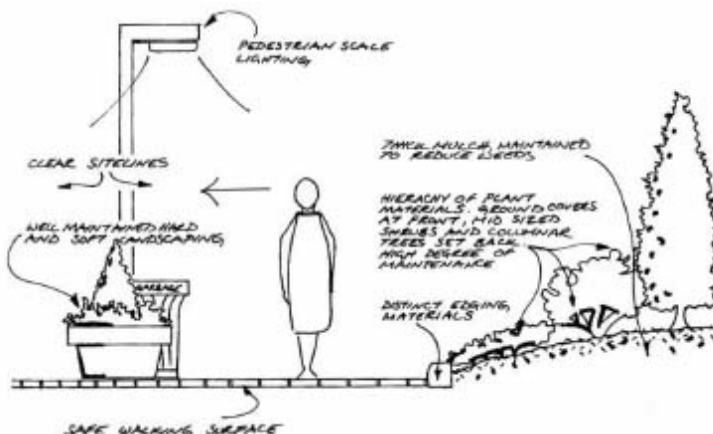
**Guideline 16.36:** Consideration should be given to:

- a) Sight lines: surveillance into and out of buildings;

- b) Street Furniture: furnishings to encourage street activity, livability, vitality, etc.;
- c) Parking Lots: circulation, sight lines, lighting, access, etc.;
- d) Loading Bays: overlooked, well lit, clean, etc.;
- e) Laneways: well maintained;
- f) Maintenance: high standard of maintenance gives a safer feeling and are places that are less likely to attract crime. Areas left uncared for encourage disrespectful behaviour (i.e. graffiti and vandalism). Offenders feel uncomfortable in settings that are clearly protected, maintained and obviously a high level of ownership (territoriality); and
- g) Landscaping: soft landscaping plays an important role in interpretation of an environment and impacts on how one feels in a particular setting. These impacts can be either positive or negative depending on the treatment and level of maintenance.



**Figure 21.** Design aspects to consider for security on the street.



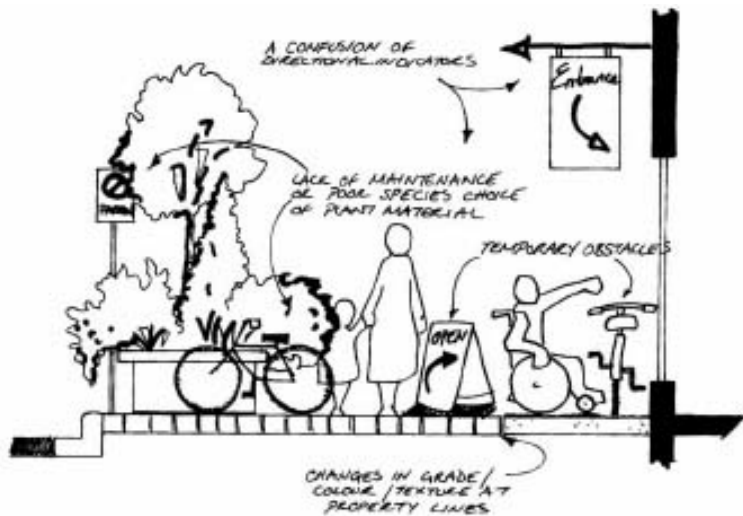
**Figure 22.** Design aspects to consider for security in landscaping.



## ACCESSIBILITY

**Guideline 16.37:** Implement a greater level of design in the commercial districts to fully accommodate those residents and visitors with visual impairments or those who use mobility aides, while ensuring that all areas are safe, easy to access and clearly marked and provide for a greater comfort, safety and cognizant environment for all users. This may include (but not limited to) addressing:

- a) Signage;
- b) Landscaping and plant material;
- c) Temporary obstacles;
- d) Paving materials – changes in grade, colour, texture;
- e) Audible signals and visual cues; and
- f) Street furniture.



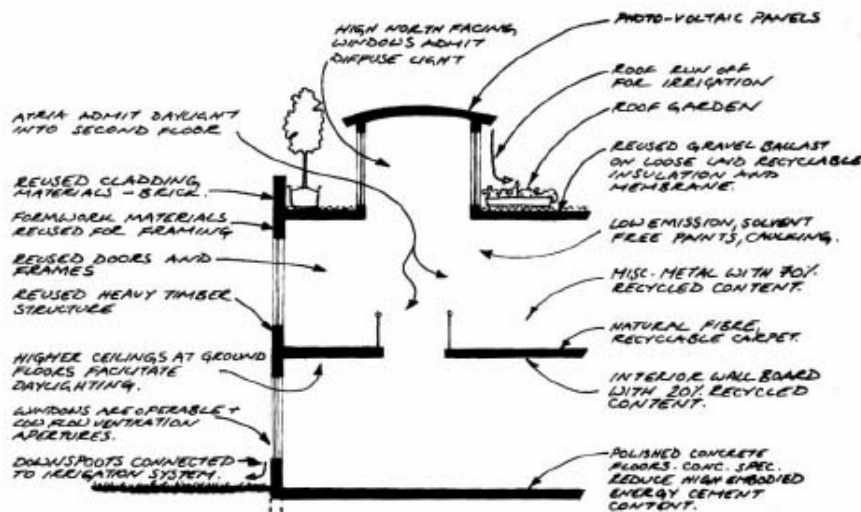
**Figure 23.** Design for accessibility.

## SUSTAINABLE DESIGN

### Building Design

**Guideline 16.38:** Where possible and within the existing block pattern, new buildings should be designed (oriented and sited) to take maximum advantage of passive solar energy.

**Guideline 16.39:** Where possible, provide landscaping that protects from direct sunlight in the afternoon hours or during the summer and to permit sunlight penetration in the winter.



**Figure 24.** A strategy for greener buildings and landscapes will not only ensure efficient use of regional resources and mitigate pollution and waste, but also contribute to the greater community by having a development that is economically, socially and ecologically more sustainable.

**Guideline 16.40:** Where feasible, reuse of local materials or environmentally sourced materials is encouraged both inside and outside of the building.

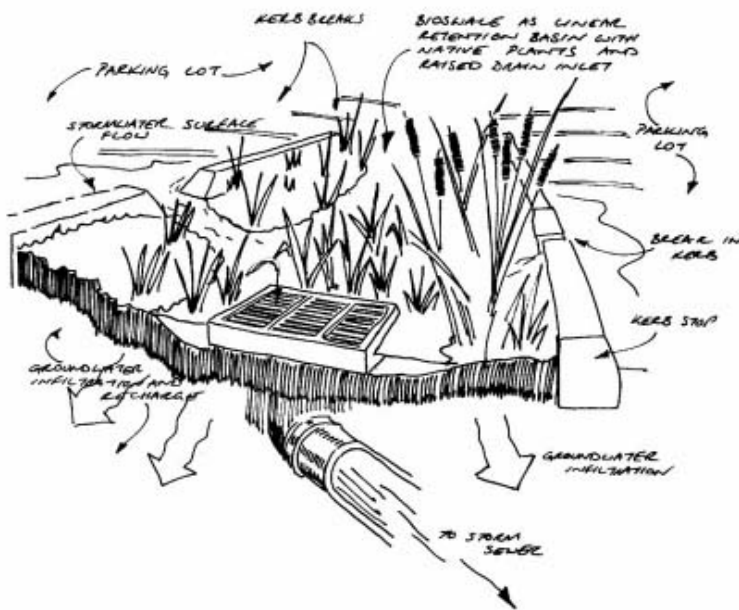
**Guideline 16.41:** Natural ventilation for buildings should be utilized as much as possible and energy efficient windows should be installed.

**Guideline 16.42:** Irrigation of landscaped areas should utilize building run-off where possible (downspouts connected to the irrigation system).

## Stormwater Management

**Guideline 16.43:** As much as possible, stormwater should be infiltrated or detained on-site (with slow release), as a means to stagger stormwater run off, particularly from parking lots and large flat roof structures.

**Guideline 16.44:** The use of bioswales as linear retention basins that move run-off as slowly as possible along a surface incline to raised drain inlets and utilizing native wetland plants further slowing this water while helping to biologically break down pollutants is strongly encouraged.



**Figure 25.** Infiltration and natural soil groundwater recharge will help reduce peak flow pressure on the City stormwater system, while retaining pollutants and suspended solids on site, in conjunction with reducing the over-reliance on soft landscape irrigation systems.

# Multi-Family, Commercial and Light Industrial Water Conservation Guidelines

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**Guideline 16.45:** Water conservation requirements apply to all projects that are subject to a development permit in the City of Dawson Creek, with the following exemptions:

- I. Projects where the sum of all landscape areas does not exceed 230 square metres are exempt from the requirements for landscape and irrigation plan and detail submittals set out in these guidelines; and
- II. Projects without an automatic irrigation system are exempt from the irrigation system design guidelines, but the landscape, grading and growing medium management guidelines and related drawing submittals other than irrigation drawings still apply.

**Guidelines 16.46:** All subject properties shall meet the following as design guidelines:

- I. The Applicant shall appoint a Qualified Professional to create and submit a Landscape Plan and supervise installation to produce a landscape installation that:
  - a. Creates an aesthetic and functional landscape that: screens parking and loading areas; buffers areas requiring privacy; provides shade and visual and spatial interest to parking and outdoor areas; allows for outdoor play and recreation in residential developments; and otherwise meets design guidelines for form and character;
  - b. Groups planting areas into 'hydrozones' of high, medium and low or unirrigated/unwatered areas. A plan diagram and table showing the extent and area of hydrozones in the project must be submitted;
  - c. Shows appropriate use of plant material, including plant suitability, survival rate, growth habit, size, disease resistance and shows grouping of plants with similar water demand within hydrozones;
  - d. Provides site grading of landscape areas that minimizes disruption of natural drainage patterns, soil erosion, runoff, and water waste by keeping irrigation and normal rainfall within property lines and landscape areas;
  - e. Implements stormwater best management practices such as absorbent landscape, infiltration swales, rain gardens, and pervious paving into the

landscape and grading to minimize runoff and to increase on-site retention and infiltration. For further information on stormwater best management practices, see the Stormwater Source Control Design Guidelines for Metro Vancouver at <http://www.metrovancouver.org/services/wastewater/sources/Pages/StormwaterManagement.aspx> ;

- f. Maximizes the percentage of landscape area that is unirrigated/unwatered, commensurate with landscape aesthetics and plant survival e.g. using pervious paving, unplanted stone or organic mulch, pervious deck. Strives for a minimum of 25% of the total landscape area;
  - g. Maximizes the use of vegetation that has low water-use requirements after the establishment period, through retention of existing vegetation or new plantings, e.g. native vegetation, wildflower meadow, rough grass, and xeriscape species; strive for a minimum of 25% of the total landscape area;
  - h. Minimizes mown turf areas that are high water use areas – substituting with areas of groundcover or unplanted mulch; strive for a maximum of 33% of the total landscape area;
  - i. Ensures landscape installation standards including growing medium depth and quality meet the requirements of the BC Landscape Standard (Latest Edition) and/or the Master Municipal Construction Document (Gold Book Edition). A submitted soils report or notes on the plans shall indicate proposed growing medium depth, amendments, and reference or custom specification;
  - j. Provides mulch cover to shrub and groundcover areas, to reduce evaporation from soil;
  - k. Uses recirculated water systems for any water features such as pools and fountains; and
  - l. Contains in the landscape plan or companion report the following signed statement: “This plan is subject to and complies with the Development Permit guidelines of the City of Dawson Creek for the efficient use of water in the landscape design plan” signed by a licensed Landscape Architect qualified by the British Columbia Society of Landscape Architects (BCSLA).
- II. If irrigation is to be installed, the Applicant shall appoint a Qualified Professional to create and submit an Irrigation Plan and supervise installation to produce an irrigation system that:
- a. Groups irrigation circuits/zones into ‘hydrozones’ of high, medium and low or unirrigated areas consistent with the landscape planting plan;
  - b. Uses reclaimed or recycled water or rainwater capture from roofs or rain barrels for outdoor water use when such is available;

- c. Employs drip or low volume irrigation where practical to meet the watering needs of hydrozones;
- d. Uses surface or subsurface drip irrigation or low volume irrigation technology to water long, narrow or irregularly shaped areas including turf areas less than 2.5m in width;
- e. Keeps drip, spray and rotor heads (different precipitation rates) on different irrigation circuits;
- f. Ensures irrigation mainlines are proven leak-free with hydrostatic tests, as a part of the construction quality assurance review. Re-test irrigation mainlines after major repair or nearby excavation work;
- g. Designs with irrigation head-to-head coverage in accordance with manufacturers specifications;
- h. Ensures matched precipitation rates on each irrigation circuit;
- i. Minimizes the elevation change in each irrigation circuit – and where required provides pressure compensating devices to minimize pressure variations or check valves to stop low head drainage where required;
- j. Provides pressure regulating devices to ensure irrigation outlets are operating at the manufacturer's optimum pressure range;
- k. Adjusts head radius, arc and alignment to avoid overspray of paved surfaces or buildings;
- l. Irrigates slopes greater than 25% with an irrigation system with a precipitation rate not greater than 20mm/hour;
- m. Installs 'Smart' automatic controllers with water-conserving functions;
- n. Provides automatic shut off devices that shut off the system in cases of pipe leak or breakage, and that shut off the system when rain is present; and
- o. Includes a written Irrigation Schedule, with a copy stored with the controller, that meets the following criteria:
  - i. Overhead irrigation should normally be scheduled between 8:00pm and 10:00am. Specific irrigation schedules may be required by the Water Conservation Measures Bylaw;
  - ii. Irrigation schedules (run times) shall be based on local current time reference evapotranspiration data per the IIABC Landscape Irrigation Scheduling Calculator ( <http://www.irrigationbc.com> ); and
  - iii. Parameters used to set the controller shall be developed and submitted for each of the following as applicable:

- Plant establishment period – where a slightly increased water application rate may be permissible for the first year after plant installation;
  - Established landscape; and
  - Temporarily irrigated areas.
- p. Consider in creating each irrigation schedule for each station all of the following that apply:
- i. irrigation interval (days between irrigation);
  - ii. irrigation run times (hours or minutes per irrigation event to avoid runoff);
  - iii. number of cycle starts required for each irrigation event to avoid runoff;
  - iv. amount of applied water scheduled to be applied on a monthly basis – schedule different run-times as weather changes, either by using the weather-sensitive features of a Smart Controller or by creating adjustments to the run time for each circuit by adjusting the time clock or changing its ‘water budget’ feature at least once per month to recognize that highest water need is in July and lower water needs exist in other months of the growing season;
  - v. application rate;
  - vi. root depth;
  - vii. plant type;
  - viii. growing medium type;
  - ix. slope factor;
  - x. shade factor; and
  - xi. irrigation uniformity or efficiency setting.
- III. The irrigation plan or a companion report shall contain the following signed statement:  
 “This plan is subject to and complies with the Development Permit Guidelines of the City of Dawson Creek for the efficient use of water in the irrigation design plan” signed by a Certified Irrigation Designer qualified by the Irrigation Industry Association of BC (IIABC).

*Note: These guidelines will involve a higher level of technical rigour and expertise in landscape and irrigation design (for multifamily/ICI sectors only) compared to current typical practice. This may present some challenges initially, however they will also serve to stimulate capacity building for implementation of best practices. An alternative to immediate implementation may be to defer enforcement of the requirements until a later date – providing notice to the community that the new guidelines are coming but allowing time for capacity building activities such as pilot projects, pilot application, and public education.*

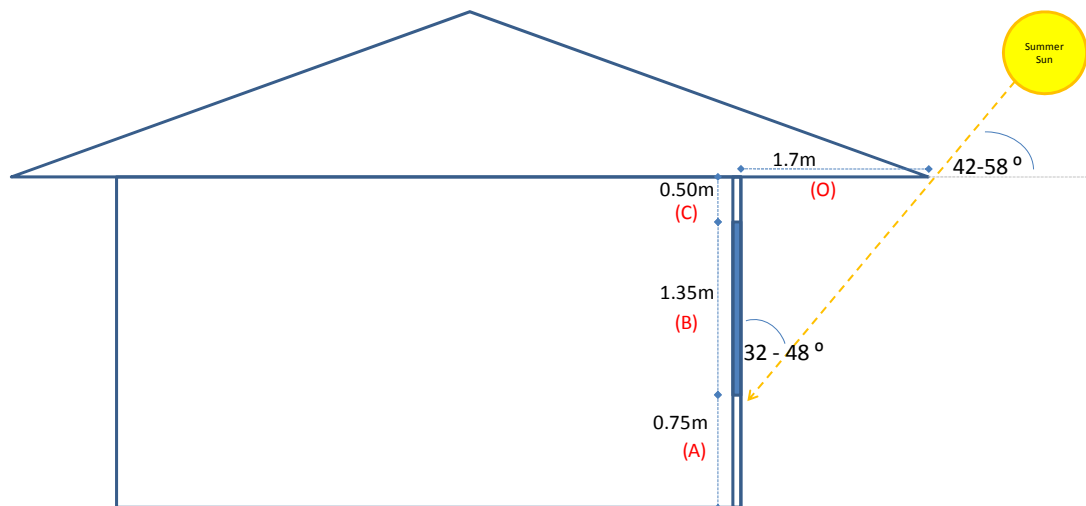


# Multi-Family, Commercial and Light Industrial Energy Conservation and Renewable Energy Guidelines

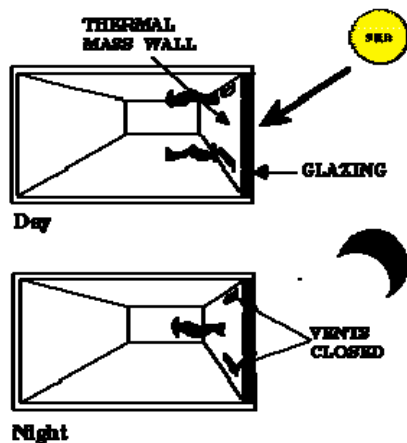
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**Guideline 16.47:** Passive Solar Design - Design elements will be incorporated that facilitate the retention of solar heat through either direct-gain, indirect-gain or both approaches. At the most basic level, passive solar heating is most effective for south facing windows and the use of materials with high thermal mass to absorb, store and distribute heat. The following guidelines apply:

- i. Conduct a heat load estimate for the building;
- ii. Do not exceed 16 centimetres of thickness in thermal mass materials;
- iii. When using thermal mass floors, keep the surface as bare as possible. Use a medium-dark color for masonry floors, light colors for non-thermal walls, and thermal mass walls can be any color;
- iv. Fill any concrete block used as thermal storage with concrete or other high mass substance;
- v. Spread the thermal mass throughout the living space rather than in a concentrated area.
- vi. Construct roof overhangs so that south facing windows are shaded from peak summer sun that ranges from 42 to 58 degrees above the horizon, but receive sunlight during all other times.



**Figure 26– Example Dawson Creek Overhang.** The aim is to minimize access of direct summer sunlight and allow full winter sun access. The overhang length (O) necessary to shade windows from the summer sun is dependent on the distance from the ground to the bottom of the window (A) and the bottom of the window to the overhang (B + C). From May 21 to July 21, the sun is 42 ° to 58 ° above the horizon from 9:15 AM to 3:00 PM in Dawson Creek. Overhangs should be designed to prevent this sun from entering the windows, while allowing the sun to enter at all other times.



**Figure 27: Indirect Gain Overview:** Thermal mass is located between the sun and the living space. The mass absorbs sun and transfers it to the living space by conduction. 30 - 45% of the sun's energy striking the thermal mass is used.

**Guideline 16.48: Green Roofs** - Green roofs are strongly encouraged to help absorb storm water and reduce heat gain. Intensive green roofs, or “rooftop gardens” will be preferred over extensive green roofs. Green roofs are encouraged to meet or exceed the following minimum standards:

- i. Cover a minimum of 50% of the roof area (excluding areas required to accommodate rooftop equipment and access). This needs to be composed of a suitable growing medium with a minimum growing medium depth of 15cm, increased to 31cm if the growing medium is contained in planters or other types of containers;
- ii. Incorporate a permanent irrigation system integrated with storm water management strategies;
- iii. For extensive green roofs, a minimum of 75% of the roof area (excluding areas required to accommodate rooftop equipment and access) of each building covered by a suitable growing medium with a depth of 8cm, capable of sustaining a low to medium range of plant diversity;
- iv. Extensive green roof design should incorporate accessibility for the purposes of minimal general maintenance and has irrigation only through the establishment period; and
- v. A maximum of 10% of either intensive or extensive green roof area surfaced with hard materials for use as accessible area provided that all non-pervious surfaces use light-coloured, high-reflectivity materials or are completely shaded.

**Guideline 16.49: Roofing Material** – When green roofs are not installed, incorporate the use of roofing materials and colours with a high “albedo”.

**Guideline 16.50: Orientation** – Building should be oriented to the street. However, when the main axis of the building is within 15 degrees of due south, use of solar thermal and solar voltaic modules is strongly encouraged.

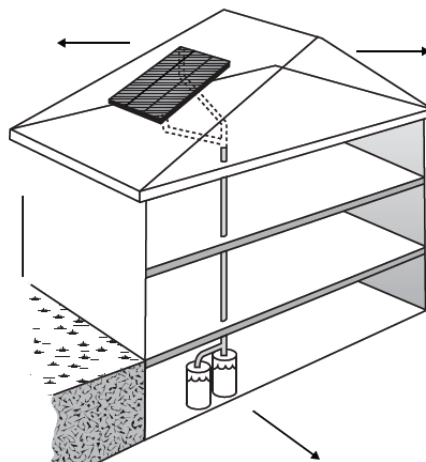
**Guideline 16.51: Landscaping** – In order to improve the energy performance of the building, landscaping should be designed to shield buildings from the strong prevailing West/South-Westerly wind and to not block solar access for South facing walls and windows.

**Guideline 16.52: Renewable Energy Generation** – It is strongly encouraged that all buildings over 1000 square feet meet at least 10% of their annual combined lighting, space heating and water heating energy demand using one or more of the following renewable energy generation technologies:

- Solar thermal hot water heater;
- Solar photo-voltaic (PV) panels;
- Micro-wind turbine; and
- Ground-source heat pump.

**Guidelines 16.53: Solar Hot Water Ready** – Dawson Creek is a SolarBC partner that has committed to facilitating the development of solar energy resources in the community. It is strongly encouraged for new residential buildings less than 5 storeys to be solar thermal hot water ready. Making a building solar ready involves pre-piping and wiring according to the following guidelines:

- i. Provide supply and return water piping for the purposes of connecting solar water heating equipment between the attic space and the service room containing the service water heater. Piping shall:
  - a) be no less than 18 mm in diameter;
  - b) be no less than 20 degree in slope;
  - c) terminate a minimum of 150 mm above attic insulation and 150 mm below finished ceiling in service room;
  - d) be capped at both ends; and
  - e) be insulated with minimum 12 mm pipe insulation.



**Figure 28 –Solar Hot Water System**

**Guidelines 16.54: District Energy-Ready** – All buildings are encouraged to be built with a hydronic heating system to facilitate future connection to a district heating system. Mechanical rooms should be located closest to the street, where possible, to accommodate access to equipment to facilitate conversion to a district energy at some point in the future.

**Guideline 16.55: Waste Energy Harvest:** - Facilities that generate onsite energy or heat for mechanical or industrial processes are encouraged to utilize renewable fuels, such as biomass. Where waste heat is generated as a result of an industrial facility's operations, an appropriate location of the facility should be chosen and design features incorporated that allow the waste heat to be captured and used in an existing or new district heating system.

**Guideline 16.56: Small Wind Turbines** - Where wind turbines are installed, the following guidelines apply:

- (a) **Compliance:** Development Permit applications for small wind energy systems shall be accompanied by standard drawings of the wind turbine structure including the tower, base, and footings, anchoring method and drawn to scale. For customized wind turbine towers, an analysis and certification by a licensed professional mechanical, structural, or civil engineer may be required. For vendor supplied towers, documentation of this analysis supplied by the manufacturer will be accepted.
- (b) **Wind Turbine Tower Height:** It is recognized that small to medium wind turbines generally require tower heights of 24-50 m (80-164 ft) to reach wind currents reasonably adequate to generate energy. For property sizes between 0.1 ha (0.25 acre) and 0.2 ha (0.5 acre), the wind turbine tower height shall be limited to 80 ft (25m). For property sizes of 0.2 ha (0.5 acre) or more, there is no limitation on wind turbine tower height, subject to the set-back requirements below, and provided that the application includes evidence that the proposed height does not exceed the height recommended by the manufacturer or distributor of the system.
- (c) **Set-back:** The turbine base shall be no closer to the property line than the height of the wind turbine tower, and no part of the wind system structure, including guy wire anchors, may extend closer than three (3) m (10 ft) to the property boundaries of the installation site. Additionally, the outer and innermost guy wires must be marked and clearly visible to a height of 2 m (6 ft) above the guy wire anchors. The City may waive setback requirements from adjacent properties if such adjacent property owner agrees to grant a legal easement binding on the current and future owners.
- (d) **Sound:** The mean value of the sound pressure level from small wind energy systems shall not exceed more than 60 decibels (dBA) (sound Bylaw does not provide direction here) above background sound, as measured at the exterior of the closest neighbouring inhabited dwelling (at the time of installation or during operation), for wind speeds below 22 mph (10 m/s) and except during short-term events such as utility outages and/or severe wind storms. Applicants may apply for exemptions from this requirement with written authorization from the pertinent building owner(s) and tenants, if applicable.
- (e) **Compliance with Air Traffic Safety Regulations:** Small wind energy systems must comply with applicable air traffic safety regulations where towers may interfere with flight pathways. The local airport must be notified of the location (latitude and longitude) and height of all wind turbine

installations and be provided the chance to comment on the application. Small wind turbine towers shall not be artificially lighted except as required.

- (f) Compliance with Existing Electric Codes: Development Permit applications for small wind energy systems shall be accompanied by a line drawing of the electrical components in sufficient detail to allow for a determination that the manner of installation conforms to existing codes, if applicable. This information frequently is supplied by the manufacturer.





## 17.0 Hazardous Conditions Development Permit Area

### Description

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The designation of the Development Permit Area is pursuant to Section 919.1 of the *Local Government Act*, which allows an Official Community Plan to use a Development Permit for “the protection of the natural environment, its ecosystems and biological diversity” and the “protection of development from hazardous conditions”

### Area

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Hazardous lands, or areas that are perceived to include hazardous conditions, will be considered before any new development within the City of Dawson Creek is approved. Land identified as hazardous has been designated as part of the Hazardous Conditions Development Permit Area.

The following areas are designated as hazardous conditions under the Hazardous Conditions & Natural Environment Development Permit Area and as shown in Map 6: Hazardous Conditions Development Permit Area.

- within the flood plain of the creek;
- land adjacent to steep slopes or banks of the creek (greater than 30%); and
- land subject to erosion, land slip, rock falls, soil subsidence, or wildfire.

## Justification

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The City contains different areas of varied and complex topography. Watercourses and ravines are common significant features, and the City is drained by Dawson Creek. This watercourse has been, and continues to be, important to the City's storm drainage. New developments will require careful treatment in order to achieve an environmentally appropriate form of development.

The objective of this Development Permit Area designation is to:

- Identify and mitigate hazardous conditions to development; and
- Ensure people and property are safe from floodwaters and drainage is managed in a way that does not negatively impact adjacent sites and the surrounding community.

## Exemptions

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The requirement to obtain a development permit prior to issuance of a Building Permit, Subdivision Approval, or the alteration of land shall not apply in the following instances:

- a. Single family lots created as of May 2003 and less than 743 square metres (8000 square feet) in lot area;
- b. Building additions of 40m<sup>2</sup> or less that do not require retaining structures;
- c. Fencing required by the City or senior government agencies;
- d. Emergency works, including tree cutting, necessary to remove an immediate danger or hazard;
- e. Minor site clearing necessary to undertake topographic and similar surveys which aid site and servicing planning work;
- f. Tree cutting, in one calendar year, of less than 2% of mature trees inside the watercourse setback areas;
- g. Land clearing for normal farm operations.








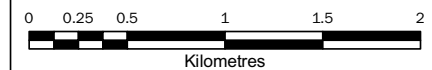


CITY OF DAWSON CREEK

Official Community Plan

### Hazardous Areas Development Permit Areas

-  Planning Area
-  Dawson Creek
-  Creekbanks of Dawson Creek
-  Floodplain
-  Areas of Steep Slopes Greater than 30%



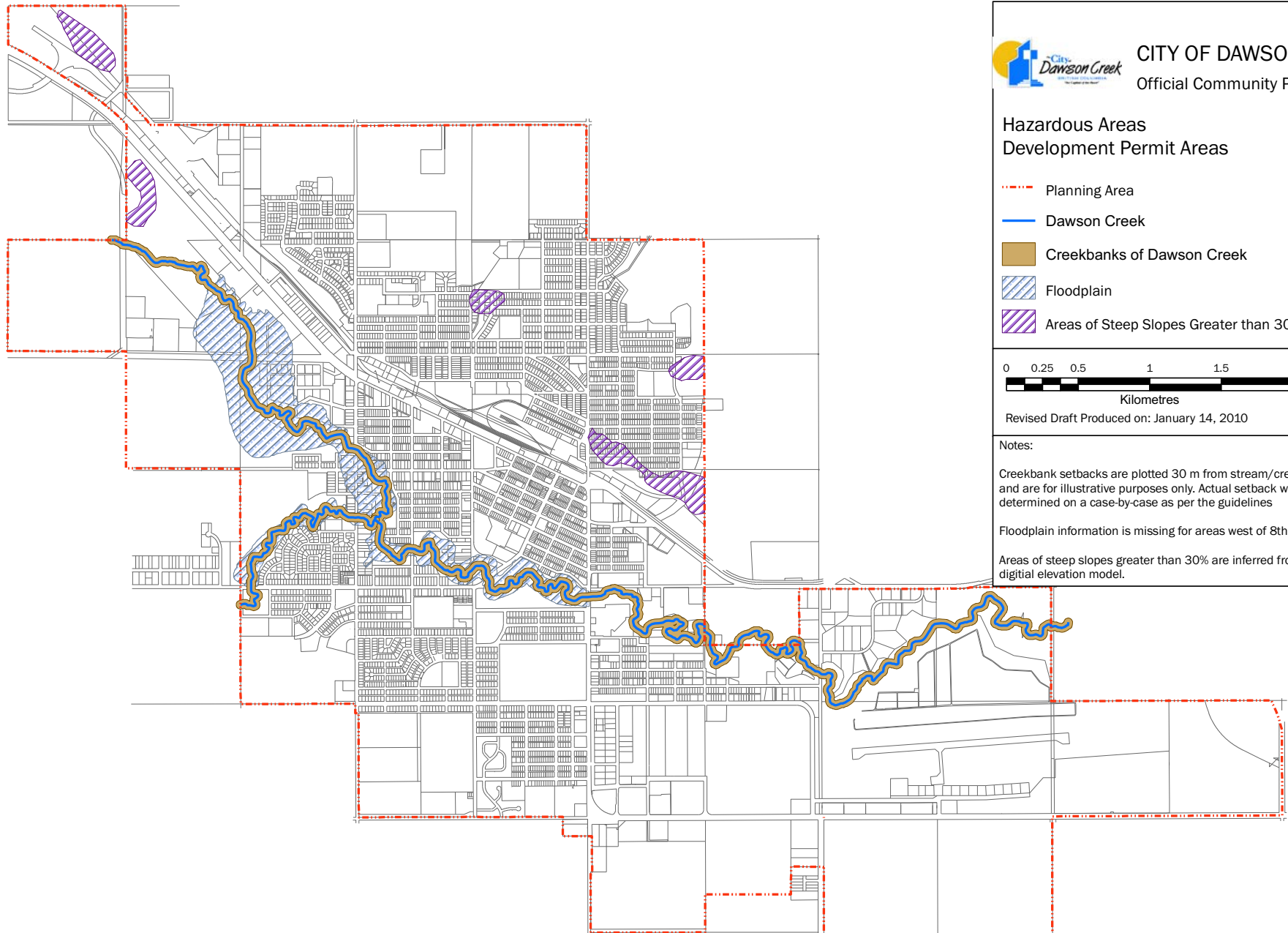
Revised Draft Produced on: January 14, 2010

#### Notes:

Creekbank setbacks are plotted 30 m from stream/creek centrelines, and are for illustrative purposes only. Actual setback widths will be determined on a case-by-case as per the guidelines

Floodplain information is missing for areas west of 8th Street.

Areas of steep slopes greater than 30% are inferred from a third party digital elevation model.



## Hazardous Guidelines

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The development permits issued under this designation shall comply with the following guidelines. No alteration of land, servicing, issuing of a building permit or subdivision may occur without issuance of a development permit unless otherwise provided for in these guidelines.

**Guideline 17.1:** Development on flood plains is discouraged, particularly lands along Dawson Creek which are known to be susceptible to flooding, and on lands subject to erosion, land slip, rock falls, soil subsidence, or wildfire.

**Guideline 17.2:** Development within areas adjacent to steep slopes (greater than 30%) is not permitted. Exceptions may be considered if the developer provides a report from a professional geotechnical engineer that sets out how the area can be safely developed.

**Guideline 17.3:** Notwithstanding the density provisions of the Zoning Bylaw, the density of development shall be based upon the ability of the site to accommodate development without creating a hazardous condition.

**Guideline 17.4:** No development shall take place that would result in erosion, sloughing, flooding, landslip, or excessive run-off and siltation, or be detrimental to the fishery resource. Mitigative measures may be used to meet this guideline.

**Guideline 17.5:** Regrading should provide for a smooth transition between the site and adjacent properties.

**Guideline 17.6:** Buildings, structures, and paved surfaces shall be located:

- a. Away from areas subject to erosion, sloughing, flooding, or landslip;
- b. Far enough away from a watercourse so as to prevent erosion, sloughing, flooding, landslip, excessive run-off of siltation, and to protect lands and the fishery resource;
- c. To preserve the natural vegetation on the steeper slopes;
- d. To minimize cutting into slopes and avoid the use of retaining walls over 3.0 m in height.

**Guideline 17.7:** Measures shall be put into place to:

- a. Direct surface run-off away from areas subject to erosion and sloughing and to handle storm water run-off appropriately; and
- b. Contain any excessive run-off, erosion, or siltation at the clearing and construction stage, and for the completed development.

**Guideline 17.8:** Retention of natural geographic formations, such as escarpments, ravines, rock promontories, or hilltops, shall be strongly encouraged. Escarpments shall not be compromised.

**Guideline 17.9:** The sequence and timing of earthworks shall be designed to minimize run-off and avoid erosion or siltation.



## 18.0 Natural Environment Development Permit Area

### Description

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Due to their environmental significance and sensitivity, water-based features within the City of Dawson Creek have been designated as part of the Natural Environment Development Permit Area. The designated areas contain features that may need special protective measures with respect to: natural landforms; environmentally-sensitive habitat, such as riparian areas; significant stands of vegetation; and watercourses.

### Area

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The Natural Environment Development Permit Area consists of all lands identified to date within the Natural Environment designation of the Natural Environment Development Permit Area Map (Map 7).

### Justification

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There are a number of water-based features in the City, including the environmentally sensitive area along Dawson Creek.

The objective of this Development Permit Area designation is to:

- Preserve and enhance riparian values;

- Protect sensitive ecosystems adjacent to Dawson Creek; and
- Preserve and enhance natural landforms, environmentally sensitive habitat and significant stands of vegetation within the City.

## Application Submission Requirements

---

Development permits shall be issued for development within the Natural Environment Development Permit Area, including streams that may not be shown on the map, once a Qualified Environmental Professional, in an assessment report submitted to the City:

- a. certifies he or she is qualified to conduct the assessment,
- b. provides the professional opinion that if the development is implemented as proposed there will be no adverse impacts to the natural features, functions or conditions in the Riparian Management Area, and
- c. identifies measures that will protect the Riparian Management Area from the approved development.

## Exemptions

---

The Natural Environment Development Permit Area does not apply to agricultural, mining, or forestry related development.

The Natural Environment Development Permit Area does not apply to the reconstruction or repair of a permanent structure described in Section 911 (8) of the *Local Government Act* if the structure remains on its existing foundation.

The requirement to obtain a development permit before issuance of a Building Permit, Subdivision Approval, or the alteration of land will not apply in the following instances:

- a) Fencing required by the City or senior government agencies;
- b) Emergency works, including tree cutting, necessary to remove an immediate danger or hazard;
- c) Minor site clearing necessary for topographic and similar surveys which aid site and servicing planning work.



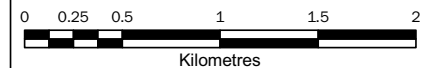


# CITY OF DAWSON CREEK

Official Community Plan

## Natural Environment Development Permit Areas

- Planning Area
- South Dawson & Dawson Creek
- Ditches, Seasonal & Other Streams
- Riparian Areas 30m Setback
- Areas of Forest Primary Cover

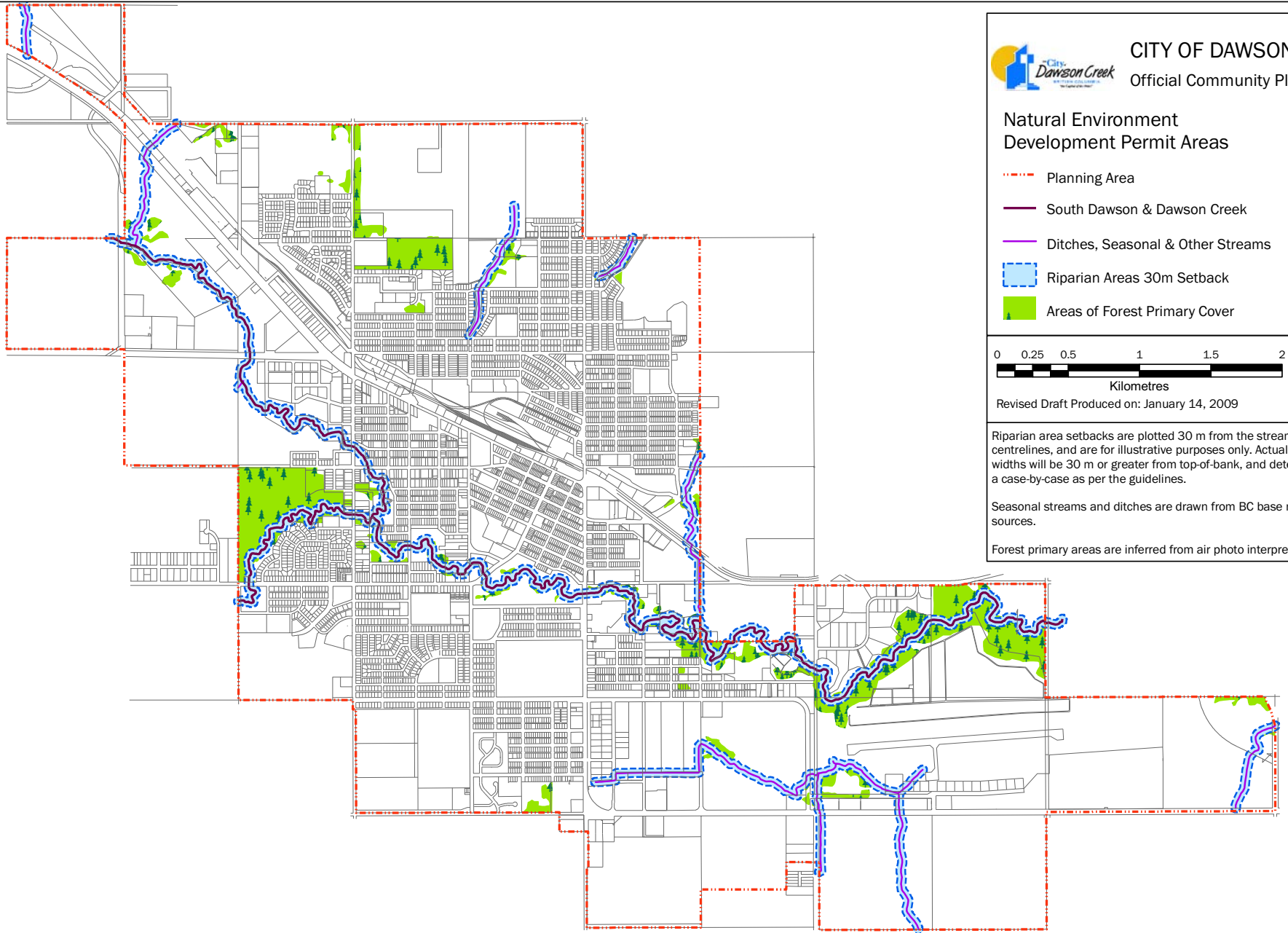


Revised Draft Produced on: January 14, 2009

Riparian area setbacks are plotted 30 m from the stream/creek centrelines, and are for illustrative purposes only. Actual setback widths will be 30 m or greater from top-of-bank, and determined on a case-by-case as per the guidelines.

Seasonal streams and ditches are drawn from BC base mapping sources.

Forest primary areas are inferred from air photo interpretation.



## Protection of the Natural Environment Guidelines

---

The development permits issued under this designation will comply with the following guidelines.

**Guideline 18.1:** Development is not permitted within a corridor of land 30m from the top of bank along Dawson Creek and other streams, throughout the City. This area will be referred to as the Riparian Management Area. Protection measures should be developed by a Qualified Environmental Professional and be consistent with the appropriate best management practices for land development in providing protection for streams. The Qualified Environmental Professional may require that a setback greater than 30m be provided.

**Guideline 18.2:** Encourage the Provincial Government to undertake a program of stream bank stabilization along Dawson Creek to fix or solve existing soil instability and erosion problems.

**Guideline 18.3:** Encourage the Regional District and Ducks Unlimited to undertake flow stabilization of Dawson Creek to the west of City boundaries.

**Guideline 18.4:** Development permits will be issued in accordance with the following:

### Preservation of Natural Areas

- a. Protect unique or special natural features such as land forms, rock outcroppings, mature trees and vegetation, drainage courses, wetlands, hilltops and ridge lines.
- b. Retain and incorporate mature vegetation into the design of the site wherever possible.
- c. Demonstrate that a diligent effort has been made in the site design to preserve the natural vegetation and tree cover.
- d. Where land or natural vegetation is disturbed or damaged, require that the area be restored or replanted with indigenous species.
- e. No development shall be permitted in the area necessary to protect the potential fishery resource of Dawson Creek.
- f. Prohibit obstructions and impediments to the flow of a stream, creek, watercourse, ditch, drain, or sewer.
- g. Require that the natural stream channel geometry be retained wherever possible.
- h. Protect and manage natural watercourses as open streams (unless otherwise authorized by the appropriate provincial ministry or agency).



## Riparian Management Areas

- a. Retain, in a largely undisturbed state throughout and after the development process (unless there exists a hazardous condition which can only be addressed by disturbing the site), an area of land immediately adjacent to any streams, 30 metres from top of bank.
- b. Relaxations will be considered only under the following circumstances:
  - i. The City of Dawson Creek may consider supporting the proponent's application for relaxation where the 30 metre setback occupies more than 30% of an existing lot, and where a hardship can be demonstrated. A condition of that support is restoration/mitigation in accordance with an assessment report prepared by a Qualified Environmental Professional.
  - ii. If the 30 metre setback is relaxed, the Qualified Environmental Professional must specify an appropriate setback area where no development can occur and include measures that will protect the Riparian Management Area from the approved development.
- c. Relaxation may also require habitat mitigation measures acceptable to the appropriate provincial ministry or agency (e.g. planting, diversion of storm water, fencing, or restoration works), or compensation authorized by the appropriate federal department.
- d. The City of Dawson Creek may consider zoning bylaw variances in order to prevent or minimize encroachment into the Riparian Management Area. The changes that may be considered include, but are not limited to:
  - i. Reducing front and/or rear yard setbacks,
  - ii. Increasing the maximum site coverage of buildings (provided density is not increased),
  - iii. Increasing maximum building height (provided density is not increased),
  - iv. Reducing parking space requirements.
- e. Measuring the Riparian Management Areas should be done from top of bank, or where top of bank is poorly defined, from the natural boundary.
- f. Protect the Riparian Management Area permanently with a restrictive covenant, and where a linear park corridor is to be acquired, it may also be necessary to pursue:
  - i. Dedication as a road – for a public route of access,
  - ii. Rezone as a protected area, park, or reserve status, or
  - iii. Registration as a statutory right-of-way.
- g. Where it can be demonstrated to the satisfaction of the City and the appropriate provincial ministry or federal agency that there will be no negative effects on natural features, functions or conditions, the Riparian Management Area may include uses such as public or private pathways, utility corridors, and road crossings.

- h. Prohibit the development of buildings, structures, and hard-surfacing, such as driveways and parking areas and prohibit soil deposition within the Riparian Management Area unless required under restoration or compensation plans.

**Guideline 18.5:** Allow the owner(s) of land affected by dedications for environmental protection to use the original site area in computing density and floor area ratios and minimum area for development or subdivision purposes.

**Guideline 18.6:** With respect to voluntary dedication of lands or voluntary placement of conservation covenants, give consideration to allowing increased density on the balance of the subject property, transferring density to another property, trading land, purchasing land, offering grants-in-aid, or granting tax exemptions.

# **APPENDIX 1 (A1)**

## **SUSTAINABILITY CHECKLIST**

**This Appendix contains the Checklist for Sustainable Planning and Development in Dawson Creek.**

**It includes an overview, a summary (to be completed by staff), and the comprehensive checklist (to be completed by the applicant, and reviewed/edited by staff).**

# A Checklist for Sustainable Planning and Development in Dawson Creek

City of Dawson Creek – Planning for People



## What is the Checklist?

This Checklist has been developed to assist staff and Council in the assessment of development applications with respect to the City's overall future vision, community goals and policies. The Checklist is also intended to assist developers and land owners to plan projects that further the sustainable objectives contained in the Dawson Creek Official Community Plan and to provide a framework for discussion and dialogue with City staff.

Developers and land owners of large and small scale projects will benefit by having a good framework to understand the level of expectation required by the City in integrating sustainability measures into development projects.

## Applicability of the Checklist

The submittal of a completed Sustainability Checklist will be required as part of the following types of development applications:

- Official Community Plan and Zoning Bylaw amendments
- Rezoning applications
- Subdivision, Development Permit or Development Variance Permit

## Instructions / Process

1. Applicants review and complete the appropriate checklist and, if necessary, provide a supplementary letter describing in greater detail how the proposed development incorporates the listed policies.
2. City staff review and discuss the submission as part of the development review process.
3. Additional comments and/or requests for additional information will be provided by the applicant where required.
4. City staff complete the "Summary" checklist to determine major gaps and accomplishments, and include in the Council report as part of the development approval process.

## Contact

Kevin Henderson, Director of Operations  
(250) 784-3622, [khenderson@dawsoncreek.ca](mailto:khenderson@dawsoncreek.ca)

# SUMMARY: Sustainability Checklist for New and Infill Development

City of Dawson Creek

**Development Application File Number:**

**Project Address:**

**Applicant Name:**

Instructions to staff: Enter notes to the right of the appropriate number (please refer to the full checklist for a description) as to how the application complies or does not comply with policy directions. To be completed following review of the full checklist, which is completed by the applicant.

<b>Community Land Use &amp; Growth Management</b>	
3	
2	
1	
<b>Building Performance &amp; Renewable Energy</b>	
3	
2	
1	
<b>Affordable Housing</b>	
3	
2	
1	
<b>Environmental Protection &amp; Open Spaces</b>	
3	
2	
1	
<b>Community Oriented Transportation System</b>	
3	
2	
1	

<b>Utilities &amp; Infrastructure</b>	
3	
2	
1	
<b>Sustainable Food System</b>	
3	
2	
1	
<b>Vibrant Culture, Arts &amp; Heritage</b>	
3	
2	
1	
<b>Community Health and Safety</b>	
3	
2	
1	
<b>Economic Development</b>	
3	
2	
1	
<b>Inter-Jurisdictional Planning</b>	
3	
2	
1	

# Sustainability Checklist for New and Infill Development

City of Dawson Creek

**Development Application File Number:**

**Project Address:**

**Applicant Name:**

**Note to applicant and reviewer:**

Enter the appropriate number into boxes below, where 3 = complies; 2 = complies with minor changes; 1 = does not comply. Leave blank if policy direction does not apply.

Individual checklists specific to each development type (single family, multi-family, etc) can be downloaded from the City of Dawson Creek website and/or picked up at City Hall. This Checklist is a consolidated version of checklists for all development types.

	Single Family	Multi-Family Residential	Commercial / Office	Industrial	Institutional	Agricultural & Rural Residential	Neighbourhood Plans	1) In what ways does the development meet or not meet this policy direction? 2) Other notes / comments
<b>Community Land Use &amp; Growth Management</b> – The City will prioritize revitalization and infill, and limit peripheral development to select and appropriate areas of the City.								
The development is in the Intended Infill / Redevelopment Area and/or on existing residential parcels of land			N/A	N/A		N/A		
The development is consistent with uses and designated areas identified in the Official Community Plan's Community Land Use Map .								
The development is consistent with guidelines for the Multi-Family, Commercial and Light Industrial Development Permit Area	N/A				N/A	N/A		
Buildings – particularly heritage buildings – are adaptively re-used								
At-grade uses in the city centre and along major corridors are employment-generating	N/A					N/A		



	Single Family	Multi-Family Residential	Commercial / Office	Industrial	Institutional	Agricultural & Rural Residential	Neighbourhood Plans	1) In what ways does the development meet or not meet this policy direction? 2) Other notes / comments
Major retail, office, entertainment, cultural and government facilities are located in the city centre or north of Alaska Avenue	N/A	N/A		N/A		N/A		
Office buildings greater than 929 m <sup>2</sup> of leasable space is located in the city centre	N/A	N/A		N/A	N/A	N/A		
Infill housing compliments existing scale, respects existing outdoor spaces, provides a range of municipal services, can be accommodated by community facilities (e.g. schools), and have minimal traffic impact			N/A	N/A	N/A	N/A		
Residential densities in neighbourhood centres, along major corridors, and in the city centre meet minimum thresholds to support viable transit service			N/A	N/A	N/A	N/A		
High density multi-family developments are located in or near the city centre, in neighbourhood centres, and along transit routes	N/A		N/A	N/A	N/A	N/A		
Manufactured / mobile homes and adult living developments can be accommodated by a full range of municipal service, is compatible with adjoining uses in terms of use, scale, and density, and –for the latter – has adequate support facilities			N/A	N/A	N/A	N/A		
Local commercial development in residential areas is limited in scale and provide local serving retail or personal service uses	N/A	N/A		N/A	N/A	N/A		
Local commercial development is developed on existing commercial parcels	N/A	N/A		N/A	N/A	N/A		
Highway oriented service commercial development is located in existing commercial areas along the Alaska Highway, John Hart Highway, Highway No.2. and 8 <sup>th</sup> Street (as per the OCP map)	N/A	N/A		N/A	N/A	N/A		
New commercial and mixed-use developments are located in excess parking areas of service commercial areas						N/A		
Service commercial development is accessible for pedestrians, cyclists, transit, and vehicles	N/A	N/A		N/A	N/A	N/A		
Commercial development related to tourism is located in								

[illegible]

	Single Family	Multi-Family Residential	Commercial / Office	Industrial	Institutional	Agricultural & Rural Residential	Neighbourhood Plans	1) In what ways does the development meet or not meet this policy direction? 2) Other notes / comments
by promoting an affordable and diverse housing stock.								
Redevelopment of rental housing does not result in a net loss of rental units			N/A	N/A	N/A			
Residential development includes affordable, rental and/or special needs/supporting housing			N/A	N/A	N/A			
Residential units include adaptable design, accessibility, and/or universal design features			N/A	N/A	N/A			
<b>Environmental Protection &amp; Open Spaces</b> – The City will focus on City-wide trail networks as a premier recreational amenity in the City and efficiently allocate capital budgets to acquire and prioritize parks, maintenance and park improvements based on residents use and needs.								
Development is not located on floodplains, particularly along Dawson Creek								
Development adheres to Hazardous Conditions and Natural Environment Development Permit Area guidelines								
New development maintains or plants trees to ensure a 20% tree canopy coverage								
Developments preserve and use indigenous plant species								
Developments are designed to connect with the existing trail system								
<b>Community Oriented Transportation System</b> – The City will work to expand resident's options for transportation, including pedestrian, cycling, transit and vehicle use. Identify key green streets to complement the streetscape/public realm with new development								
Subdivision design discourages movement of through traffic on local roads								
New development accommodates (where there is available space) separate sidewalk edges from road curbs with the use of climate tolerant landscaping or hardscape								
Walking and cycling paths and lanes link to adjacent open spaces, parks, schools, other public institutions, and areas of								

	Single Family	Multi-Family Residential	Commercial / Office	Industrial	Institutional	Agricultural & Rural Residential	Neighbourhood Plans	1) In what ways does the development meet or not meet this policy direction? 2) Other notes / comments
public activity								
Combined walking/cycling paths are provided to give short-cuts to new residential subdivisions and destinations including schools, transit stops, recreation facilities, and employment/commercial nodes								
Large parking lots include safe pedestrian walkways to entrances and nearby transit stops								
Transit infrastructure is provided on large redevelopment and subdivision development where an internal road network or parking lot is also provided								
New multi-family, and large scale commercial and industrial developments include an upgrade or provision of local bus stop with amenities, accessibility features, and lighting	N/A				N/A			
Interim transit service is provided where development is not serviced by the existing transit system								
Development accommodates the needs of wheelchair and scooter users								
New development improves pedestrian facilities, including safe pedestrian street crossings								
New large format commercial and institutional developments allocate preferred parking stalls for hybrid, car shares, car pools and/or small vehicles	N/A	N/A		N/A		N/A		
<b>Infrastructure &amp; Utilities</b> – The City will protect existing infrastructure investments and will promote integrated, green infrastructure as a key tool to meet the community's greenhouse gas emissions targets.								
Phasing of development and municipal infrastructure follow the extent as shown in Map 5 of the Official Community Plan								
The costs of upgrading infrastructure services and servicing new development are borne by the proponent								
Opportunities for harvesting/reusing waste heat or generating energy from water and/or wastewater systems are maximized								

	Single Family	Multi-Family Residential	Commercial / Office	Industrial	Institutional	Agricultural & Rural Residential	Neighbourhood Plans	1) In what ways does the development meet or not meet this policy direction? 2) Other notes / comments
Opportunities to establish and utilize integrated utilities are maximized								
Grey water reuse systems and/or rainwater collection is utilized								
Indoor water conservation measures are in place (e.g. low flow fixtures)								
Water-wise irrigation and landscaping / xeriscaping, and site-scale stormwater management practices are utilized								
Opportunities for small-scale or modular district/shared energy systems are maximized								
Space and facilities are provided for multi-season three-stream (recyclables/organics/residual garbage) waste separation	N/A					N/A		
Construction and demolition waste is reduced and recycled								
<b>Sustainable Food System</b> – The City will support all aspects of a sustainable food system. This will be achieved by ensuring its food system is locally-focused, healthy, environmentally-beneficial, and secure, which means that all people have access to healthy, culturally appropriate food.								
The development includes edible landscaping (i.e. planting of edible plant species)								
The development is not located in the Agricultural Land Reserve								
<b>Vibrant Culture, Arts &amp; Heritage</b> – The City will support and strengthen its active arts and cultural community through offering leadership, supporting new growth, and providing appropriate venues. The City's rich heritage resources will continue to play a central role in its unique character, enhancing the identity and appeal of the community.								
The development includes a public art component or provides a financial contribution to the establishment of public art in the community			N/A					
Heritage buildings and other heritage assets are preserved								

	Single Family	Multi-Family Residential	Commercial / Office	Industrial	Institutional	Agricultural & Rural Residential	Neighbourhood Plans	1) In what ways does the development meet or not meet this policy direction? 2) Other notes / comments
<b>Community Health and Safety</b> – Dawson Creek will support residents and partner with community organizations and adopt a more robust set of social planning policies								
Universal accessibility features are provided in all new buildings								
Universal accessibility features are provided in all new sidewalks, crosswalks and transit stops, including auditory traffic signals								
All developments shall incorporate Crime Prevention Through Environmental Design principles								
<b>Economic Development</b> – The City will aim to help create a sustainable balanced and diversified economy that attracts new business and employment.								
Commercial and industrial developments are compact and consistent with the character of surrounding neighbourhood(s)	N/A	N/A			N/A	N/A		
Development in the city centre increase the attractiveness of the public realm						N/A		
Businesses are green and/or support the local economy	N/A	N/A			N/A	N/A		
<b>Interjurisdictional Planning</b> – The City will continue to work with the Regional District and other jurisdictions on issues outside the City Boundaries but that affect the City's residents.								
Development is not located outside or near City boundaries						N/A		

## **Appendix 2 (A2)**

### **SUNSET RIDGE – HARVEST VIEW NEIGHBOURHOOD PLAN**



SUNSET RIDGE - HARVEST VIEW

# SUSTAINABLE NEIGHBOURHOOD PLAN



FINAL DRAFT



January 2009

# SUNSET RIDGE - HARVEST VIEW

## SUSTAINABLE NEIGHBOURHOOD PLAN

This document outlines Dawson Creek's first official sustainable neighbourhood plan to be adopted within the Official Community Plan as a bylaw amendment.

This sustainable neighbourhood plan marks a shift in planning for the City. Until now, the form and character of existing and proposed land use and servicing requirements in the City of Dawson Creek (at the neighbourhood scale) were made by policy framework set at a City-wide scale in the Official Community Plan Bylaw No. 3550.

### PLAN FORMAT

This document is organized as follows.

#### ***Overview of Neighbourhood Planning:***

- A definition of a neighbourhood plan, benefits to neighbourhood planning and its relationship to other plans and City-wide initiatives, in particular, its significance for and within Dawson Creek's move towards a sustainable city.

#### ***Part A - Land Use:***

- The vision and land use planning concept.

#### ***Part B- Development Policies:***

- Development policies for circulation, infrastructure services, parks, community, culture and phasing of development.

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# OVERVIEW

## DEFINITION OF A NEIGHBOURHOOD PLAN

A neighbourhood plan is a statutory planning document, adopted by council as policy or an amendment within the Official Community Plan (OCP).<sup>1</sup>

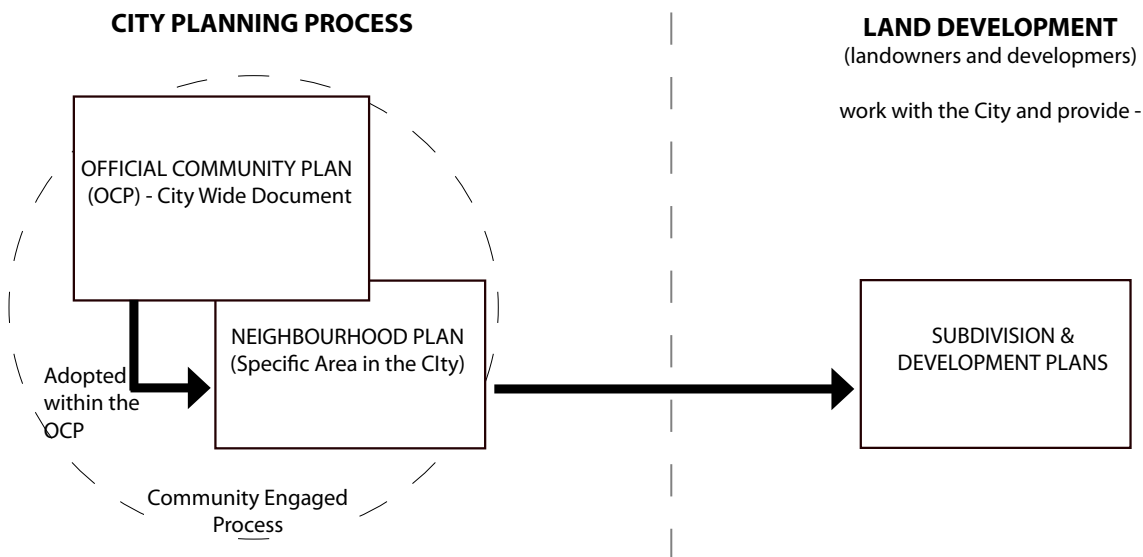
The neighbourhood plan is different than an OCP. It outlines a vision for a neighbourhood with greater detail on -

- land use and land use policies
- circulation or network
- parks and open space
- infrastructure and servicing

In turn, this informs what happens in the planning area with respect to -

- zoning and rezoning
- development permit areas & guidelines
- subdivision and development

*A neighbourhood plan is a statutory planning document, adopted by council as policy or as an amendment within the Official Community Plan (OCP).*



**Figure 1.** Neighbourhood plans are the responsibility of the City and involve community engagement and resident support. They are not a plan for subdivision and development.

<sup>1</sup> The Official Community Plan (OCP) is established under Section 875, Part 26 - Planning and Land Use Management of the Local Government Act of BC.

# Overview



Photo: Peace Photographics

*Neighbourhood planning provides the opportunity to ask residents how they envision the City's future development to occur.*

## BENEFITS OF NEIGHBOURHOOD PLANNING

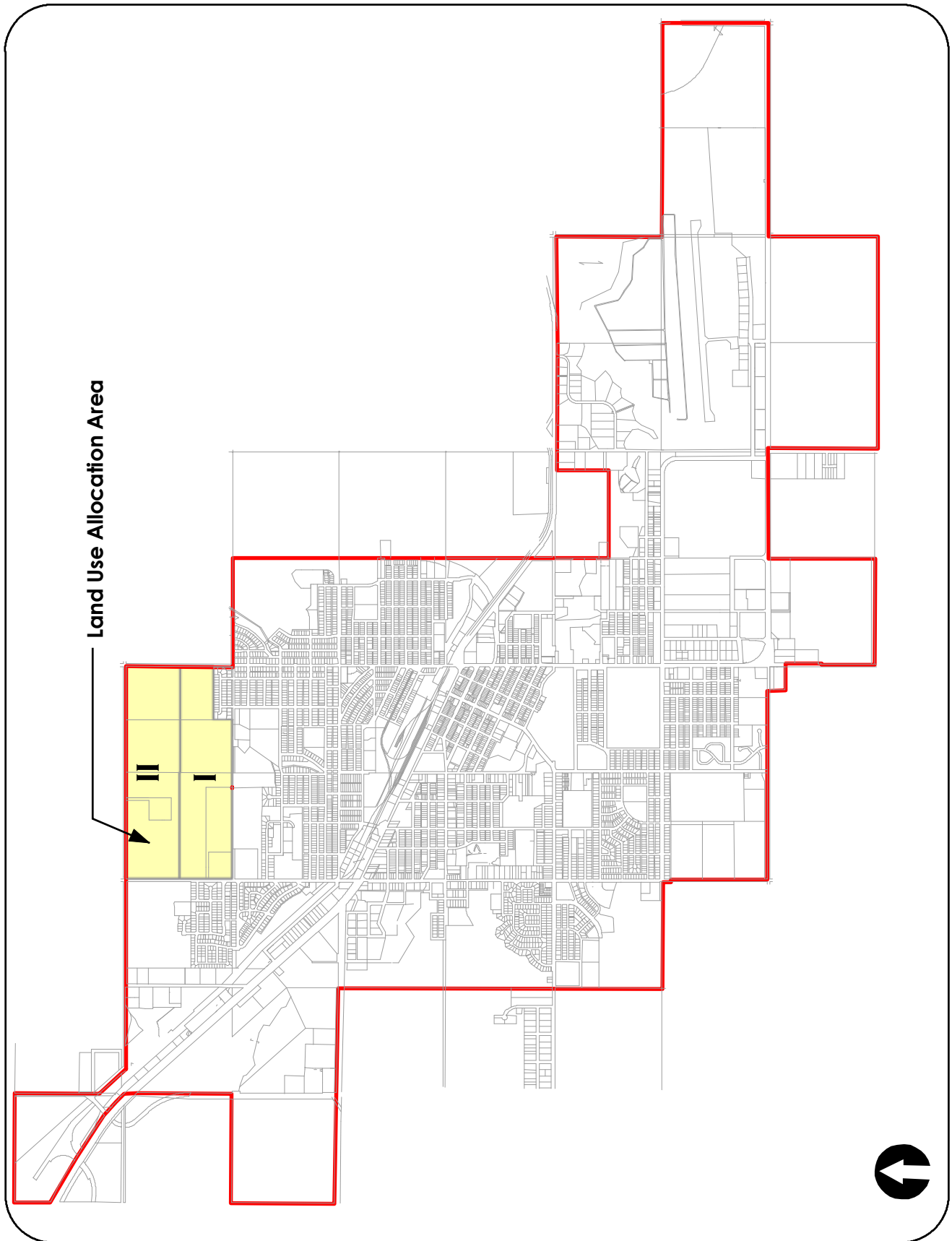
A neighbourhood plan provides the policy framework to facilitate and coordinate development. It provides residents and City Council with a degree of certainty about the vision, form and character in the planning area regardless of land ownership or when the development occurs.

In addition to defining major land use patterns, transportation corridors, and preliminary infrastructure servicing, this neighbourhood plan also provides the opportunity to -

- set a precedent for engaging citizens in neighbourhood planning
- showcase the City's move towards sustainability
- establish guidelines and a policy context for subsequent neighbourhood planning
- provide a framework within which adjacent landowners can cooperatively work towards the implementation of this neighbourhood plan
- ensure and plan a major growth area in the City

## PLANNING CONTEXT AND PRINCIPALS

The 124 hectare (306 acre) planning area is located at the northern edge and municipal boundary of the City as outlined in **Figure 2 – Planning Area and Land Use Allocation.**



**Figure 2. Planning Area and Land Use Allocation - modified from South Peace Comprehensive Development Plan.**



# Overview



*Neighbourhood planning is guided by Dawson Creek's overarching Sustainability Planning Initiative.*

## **South Peace Comprehensive Plan**

The planning area is one of six areas in the "Land Use Allocation Plan" contained in the South Peace Comprehensive Plan that is designated for residential development. The area is ranked as "more favourable" for the feasibility of servicing, and is given priority – along with one other site – for development phasing in Dawson Creek's Official Community Plan (OCP).

## **Dawson Creek Sustainable Planning Initiative**

The planning concept for Sunset Ridge-Harvest View area is rooted within Dawson Creek's larger Sustainable Planning Initiative. The goal of this City-wide initiative is be a visionary City that works together for innovative social, cultural, economic and environmental vitality.

The overall design and policies for the Sunset Ridge-Harvest View neighbourhood are guided by this planning initiative and its following goals, which were developed as a part of a separate, public visioning consultation process.

## **City Wide Sustainability Goals**

- 1) Create a compact complete community
- 2) Develop an environmentally-friendly, community-oriented transportation system
- 3) Increase energy efficiency and the use of renewable energy
- 4) Use water responsibly and efficiently to ensure a clean and sustainable supply
- 5) Enhance green space to support both community and ecological uses
- 6) Encourage vibrant arts and culture
- 7) Foster social well-being through health, housing and education

- 8) Encourage participation in civic issues through an open and accountable municipal government
- 9) Foster robust economic development that supports the community's goals
- 10) Increase reuse of resources and decrease waste

## IMPLEMENTATION OF THE NEIGHBOURHOOD PLAN

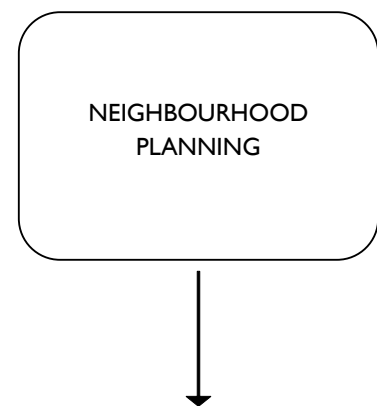
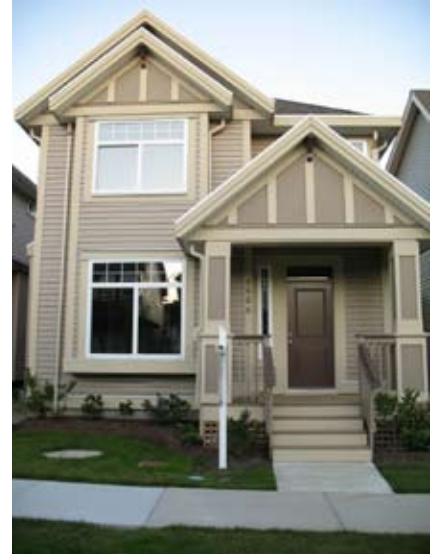
The neighbourhood plan will be adopted by council as an amendment within the Official Community Plan. The details of the plan will be implemented through a range of statutory and non-statutory mechanisms available to the municipality, namely the planning & engineering approval processes. Decisions with respect to these approvals should conform to the planning goals, policies and guidelines contained in this Plan and are consistent with the Official Community Plan (OCP).

### → Land Use Bylaw

The land use bylaw is the primary tool available for the implementation of statutory plan policy. The land use bylaw establishes a system of land use districts, related development regulations and standards for all land in the City. New provisions to the land use bylaw may be required to incorporate innovative development.

### → Subdivision Approval

Subdivision approval is a legal process involving the creation of individual titled lots and rights of way from large parcels of land. The Local Government Act



#### Implementation:

Rezoning & Land Use Designation

Land Use Bylaws

Sub-Division Approvals

# Overview



and the Subdivision and Development Bylaws provide the legislative authority for subdivision approval. Application for subdivision will require, among other things, a subdivision development plan covering the particular title that is being subdivided. The plan should identify lot dimensions, development setback, registered rights of way, easements as well as other requirements deemed appropriate by the approval authority.

## → Service Agreements

Service agreements are a contractual agreement entered into between landowners and/or the City and landowners/developers.

Service agreements ensure that –

- infrastructure installed to serve a proposed development is constructed to municipal standards and;
- a fair arrangement is negotiated for all land owners covered by the neighbourhood plan.



Service agreements require on site and off site costs associated with servicing new developments with new roadways and infrastructure to be borne to the developer through development cost charges and levies. These agreements are required as a condition of most subdivision approvals in accordance with the Local Government Act.

### **Service Agreements for Sunset Ridge – Harvest View Neighbourhood**

For the Sunset Ridge – Harvest View Neighbourhood, the City will require servicing plans as part of the

subdivision and development plan.

Servicing plans should address:

- sanitary,
- storm water, and
- potable water supply servicing requirements.

Detailed engineering design drawings and accompanying specifications that confirm the design of the infrastructure required to service each specific stage of development. These drawings must comply with the neighbourhood plan contained herein and municipal standards, unless otherwise agreed upon by the City (as may pertain to the development or piloting of new standards).

In addition, the City will require a separate legal agreement (in perpetuity) be established between landowners covered by the neighbourhood plan. The purpose of this agreement will determine the fair distribution of infrastructure costs and amenities required to facilitate the neighbourhood plan development and secure designated land areas for stormwater drainage. This may be in the form of payment to the landowner(s) of which own the land areas that are designated for stormwater infrastructure and drainage. In exchange, the land owner of designated drainage areas must register the land area to municipal ownership and management for dual benefit of landowners. The responsibility of preparing this agreement will be that of the landowners with guidance offered by the City, if required. This agreement should take into account the land value (developable land), cost of infrastructure and legal costs.

Additionally, landowners will be required to secure necessary covenants on the land title for those land areas designated for park dedication and agricultural land buffer.



## *Servicing Plans Address:*

- *sanitary*
- *stormwater*
- *water*

# Overview



## **Agricultural Land Reserve**

The neighbourhood planning area is currently designated as Agricultural Land Reserve (ALR) and is therefore governed by the Agricultural Land Commission Act (ALCA). Under Section 882 (3) (c) of this Act, a local government must refer the neighbourhood plan (as a part of the official community plan) to the Commission for comment, if the plan applies to land in an ALR established under the ALCA.

The City of Dawson Creek has notified the Commission of plan preparation early in the process. Consultation and referral of early plan drafts may be followed by meetings, as necessary, between the Commission and Board or Council if necessary. The plan will be referred to the ALC immediately following first reading. The Commission will then advise on whether the plan is consistent with the Act, regulations and orders of the Commission, and may or may not require specific changes to make it consistent.



# PART A - LAND USE PLAN

## 1.0 Land Use Plan

### PLANNING AREA

Sunset Ridge-Harvest View Neighbourhood is located at the northern edge and municipal boundary of the City. The 124 hectare (306 acre) site is bounded by three major roads: Imperial Road to the north; 17th Street to the west; and 8th Street to the east. The first two roads also represent a point of division between agricultural and residential land uses. See ***Figure 3 - Planning Area & Context.***

### UNIQUE SITE OPPORTUNITIES

The following unique site aspects were identified by residents early in the planning and design process. As a result, these became opportunities for the neighbourhood planning vision.

#### ***Solar Aspect & Views***



The neighbourhood is situated at a topographic high point and has some of the best southern views into and across the City. With its southern aspect, the area receives a greater amount of sunlight year round than most other areas in the City, which provides opportunity for active and passive solar heating. As such, homes located here should be solar ready.

# Land Use Plan

## ***Slope and Drainage***



The site is well drained. Due to the south sloping terrain, rainwater drains to the south east corner and natural ravine area off-site. This has caused some incidents of flooding in adjacent residential areas. Development on this site must ensure remediation of flooding issues and restoration of the natural drainage system.

## ***Cultivated Land***



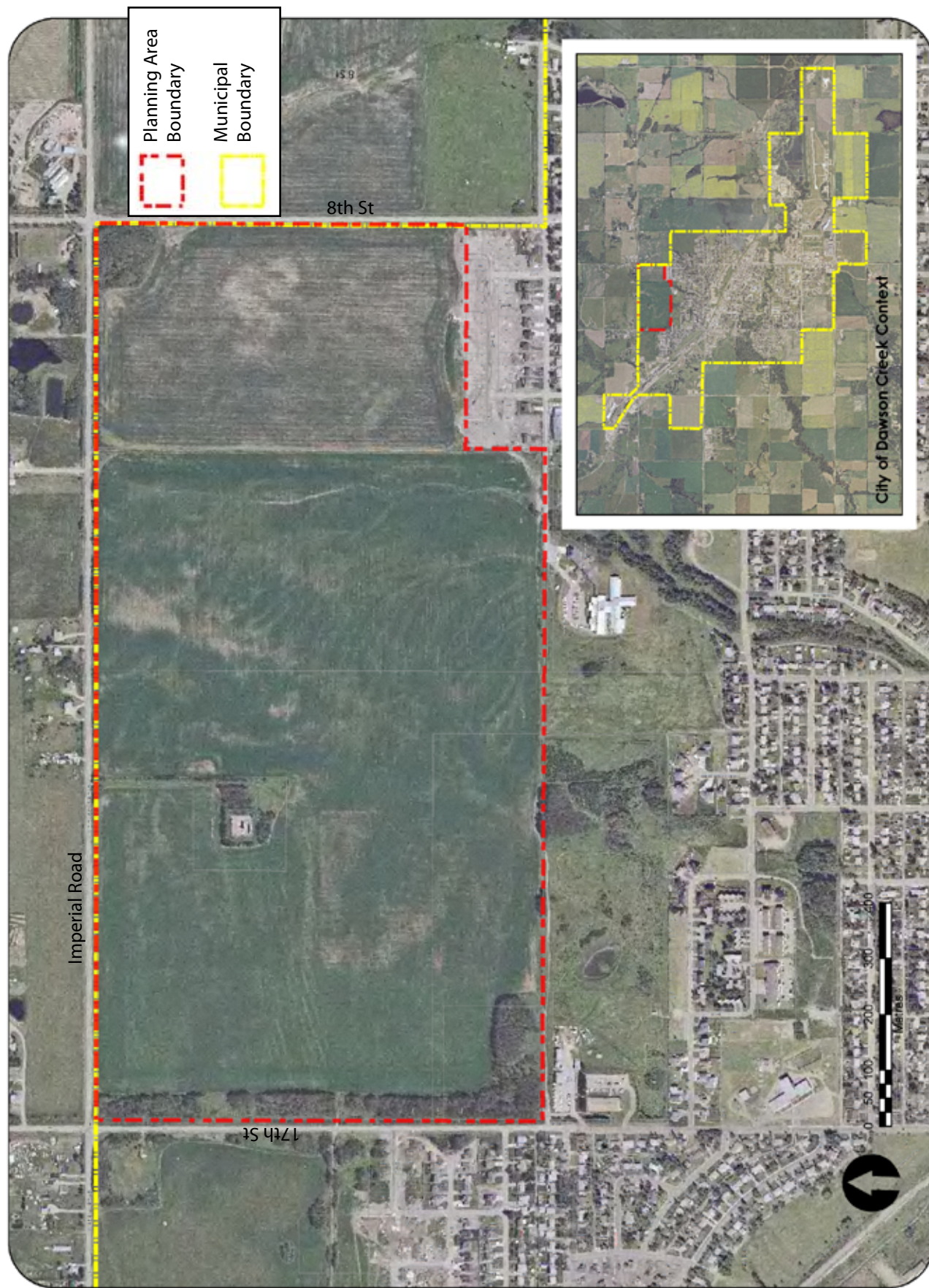
The site is currently used for agriculture. Given housing prices in the region are high and world energy costs continue to rise, the development of this site presents opportunities to explore new housing typologies suitable to a range of family sizes that are more affordable and sustainably developed.

## ***An Edge to Agricultural Land***



The site is directly adjacent to agricultural land. This constrains the development of the site because it must take into account this character and place. It also is an important site, in that, it must take into account the transition between urban and agricultural land uses. This presents opportunities to explore innovative options for edge design and celebrate former agricultural use.





This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.



**Figure 3 - Planning Area & Context**  
**2.0 Neighbourhood Vision**

## NEIGHBOURHOOD VISION

Respect and integrate natural site systems with development and community to create a characteristic and functional place that maximizes site opportunities and celebrates its cultural and ecological context.

## DESIGN CONCEPT

Guided by Dawson Creek's sustainable planning principles, the neighbourhood seeks to layer and integrate natural site characteristics and systems with community needs and development infrastructure. The Plan responds to a growing regional demand for mid-density, more affordable housing forms and takes advantage of the opportunity provided by those densities to promote walking, cycling, and transit. Thus, residential development is organized around a central village area adjacent to a school reserve site and destination park linked by a network of multiple road and trail connections through the neighbourhood. The neighbourhood focuses on a mix of housing types arranged to maximize great views and take advantage of passive solar gain. Street layout follows natural contour lines that avoid difficult topographical variation. Streets located in water catchment areas with high volumes (downslope) have swales and are designated as 'stormwater streets'. Swales double as convenient and attractive walking and cycling pathways unique to the neighbourhood, which enhance the aesthetic and ecological assets of the development. The integrated system of green spaces with circulation and infrastructure connects to the natural drainage system off site, as well as creates a network of internal public spaces and facilities, including the park/school reserve site, walkways, natural vistas, corridors, trails, and transit



# Land Use Plan

## 2.1 Illustrated Concept Plan





# Land Use Plan

## Stormwater pond

prevents flooding and integrated as a recreational amenity for the existing and new neighbourhood.



## Extensive neighbourhood trail system

throughout and around the perimeter of the neighbourhood. Trails correspond and integrated with stormwater streets.



## Mix of housing typologies

to suit a range of incomes and lifestyles. Flexible lot sizes can accommodate a variety of housing, dependent on market needs. Housing is **solar ready** for energy efficiency.



## A vibrant neighbourhood centre

adjacent to the park uses meets some of the daily needs of residents and a 'heart' to the neighbourhood.



# Land Use Plan



stops.

## 3.0 Land Use, Density & Housing

The land use designations outlined in **Figure 4 – Land Use Designation & Density** provide a framework for the coordinated and sustainable long-term development of the Sunset Ridge – Harvest View planning area.

The proposed residential housing mix for the Neighbourhood is outlined below:

Housing	Amount (%)	Avg. Lot Size (m2)
Single Family (standard lot)	12%	650 (7,000sqft)
Single Family (small lot)	30%	465 (5,000sqft)
Multi-Family (street oriented)	35%	465 - 650 (5,000 to 7,000 sqft)
Multi-Family (apartment)	23%	8,000 (86,000sqft)

## OBJECTIVE

To create a compact and complete community that reduces the neighbourhood's footprint.

## POLICIES

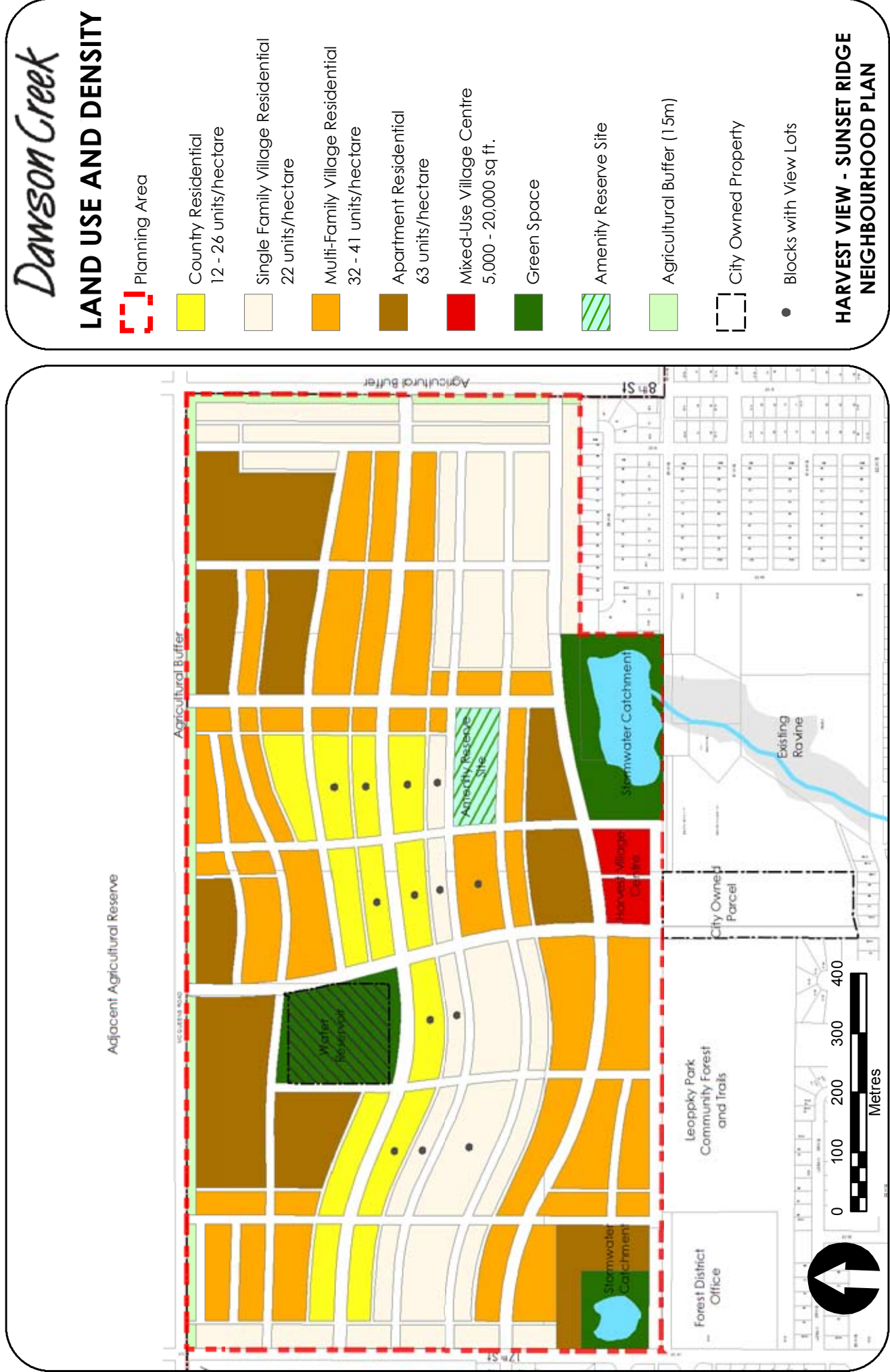
All policies are applicable to all residential land uses in the Plan area unless otherwise specified:

### Land Use Designations & Policies

- 3.1 The application of development cost charges will be evaluated and applied at the discretion of the City.

- 3.2 Land uses shall be applied in the neighbourhood as illustrated in **Figure 4 – Land Use Designation and Density.**
- 3.3 All residential development should address the vision and planning principles outlined in the Plan, in accordance with the policies outlined herein.
- 3.4 Minimum and maximum densities, optimal lot dimension, lot coverage, parking, and stormwater management requirements shall be applied to residential land uses in the neighbourhood as indicated in the **Table 1 - Residential Land Use Designation - Building Typologies and Design Considerations.**
- 3.5 Block sizes and orientation shall be applied to residential land uses in the neighbourhood as indicated in **Figure 5 - Housing Typologies - Options for Lot and Block Layout.**

Figure 4 – Land Use Designation and Density.



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.



## Country Residential – (Standard Lot Single Family)

### Description:

The Standard Lot Single Family designation accommodates lower-density residential development at densities below 12 – 26 (with coach house) units per hectare. Standard Lot Single Family lands are situated in the northern neighbourhood area with steeper slopes, where it is more efficient to create longer and narrower lots that require less road frontage; however, in keeping with the lower density residential character of this designation, the recommended minimum lot frontage for lots in the Standard Single Family designation is 13.5 metres - 16.5 metres.

### Building Typologies:

Standard Single Family Lots with or without coach houses



**Photo 1.** Single Family with rear lot access.



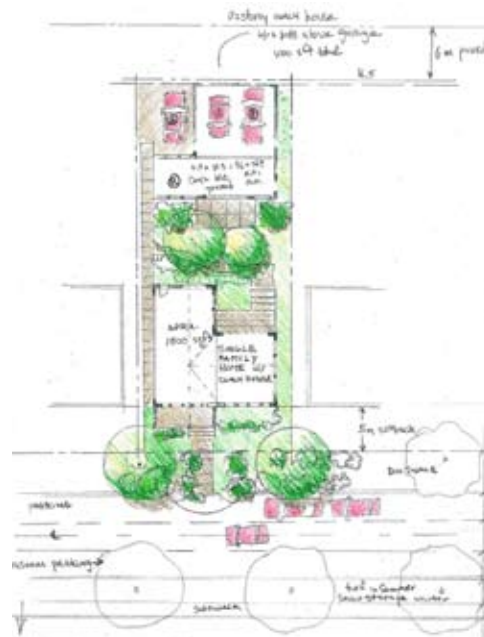
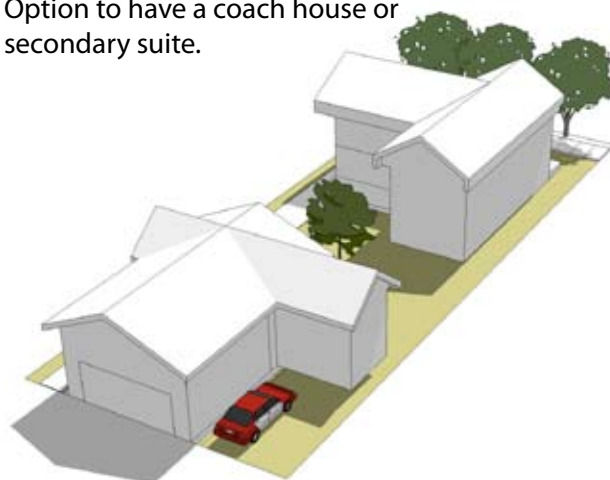
**Photo 2.** Coach house above garage.



**Photo 3.** Single Family with front lot access - garage does not extend beyond the house. Extensive landscaping and street swale in front.

### Design Considerations:

Option to have a coach house or secondary suite.



# Land Use Plan

## Single Family Village Residential

### Description:

The Single Family Village Residential land use designation provides a choice for households who desire a more compact single-family option at average densities of 22 units per hectare. Single Family Village Residential uses are situated in close proximity to local neighbourhood amenities, around focal points of parks and the reserved school site.

### Building Typologies:

Small Lot Single Family with garage in front or behind (lane access)



**Photo 1.** Small lot single family with front access.



**Photo 2.** Small lot single family with rear access and street parking permitted.



**Photo 3.** Street oriented - short front set-backs.

### Design Considerations:

Innovative organization of lots, such as shared parking, zero lot setbacks, etc. will be considered to maximize private and built areas.



## Multi-family Village Residential

### Description:

The Multi-Family Village Residential designation is intended to provide a ground oriented, attached housing option within the neighbourhood. Areas designated as multi-family are flexible, in that, there are a number of residential typologies (townhome, duplex, triplex, etc.) that are acceptable here. The typologies can be determined by housing and market needs over time. Contributing to a mix of compact housing types to foster community diversity, Multi-Family Village Residential front directly onto public streets, and have street-oriented entrances with private rear yard areas. Vehicular access is primarily provided from the rear lane and where there is front access, parking can be shared. Average densities for Multi-Family Village Residential are around 32 - 41 units per hectare.

### Building Typologies:

Duplex, Duplex with coach house, Triplex, Rowhousing



**Photo 1.** Front accessed town homes with private back-yards.

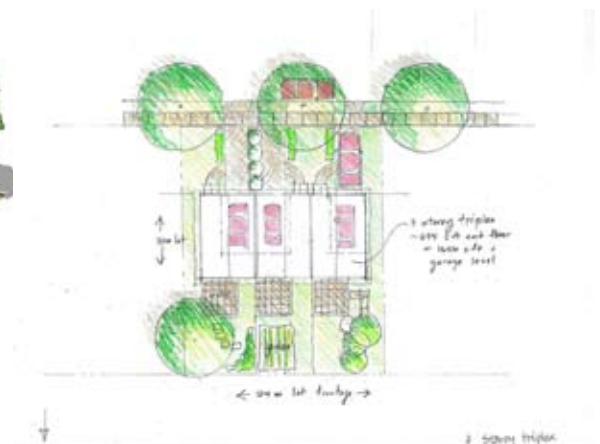
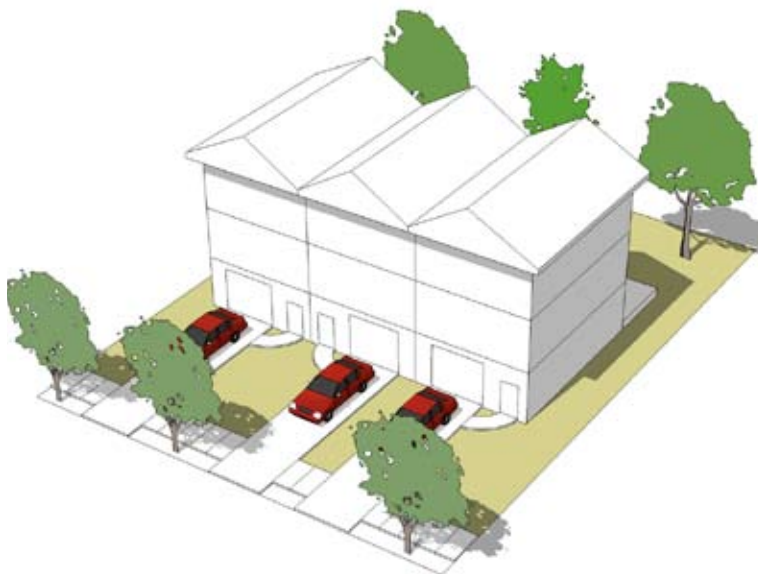


**Photo 2.** Carriage court and common landscaped areas.



**Photo 3.** Two duplexes on one corner lot each with a private area.

### Design Considerations:





# Land Use Plan

## Apartment Residential (outside the Harvest Village Centre)

### Description:

The Apartment Residential designation provides a higher density of housing at average densities of 63 units per hectare. This designation is located in small nodes on the north and south west side of the plan area adjacent to major travel corridors (enable future transit service) and large green spaces.

### Building Typologies:

4 storey buildings, stacked townhouse



**Photo 1.** Apartment residential with internal pedestrian pathways provide common space and buffer between buildings.



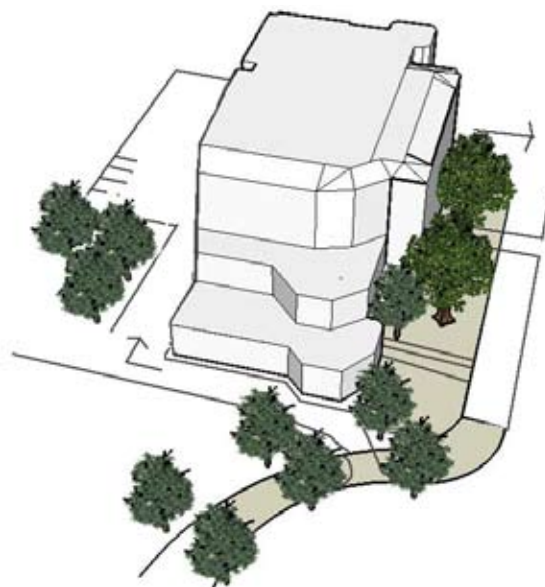
**Photo 2.** Buildings are articulated to provide aesthetic interest and maximize private spaces. Roof lines fit within the character of the surrounding neighbourhood.



**Photo 3.** Rain gardens provide common residential spaces and minimize site runoff from paved areas.

### Design Considerations:

Buildings should be articulated to add variety, aesthetic interest, and to maximize private and common residential areas.



Apartment residential buildings front entrance faces onto the street. Parking areas and entrances to parking should be concealed alongside or behind the building.

## Commercial - Mixed Use

### Description:

This area is the heart of the neighbourhood, integrated with the park area and stormwater pond. The building are mixed use with retail, office uses below and residential uses above.

### Building Typologies:

4 storey buildings



**Photo 1.** Apartment residential with small corner coffee shop. Each storey of the building steps back to create some out



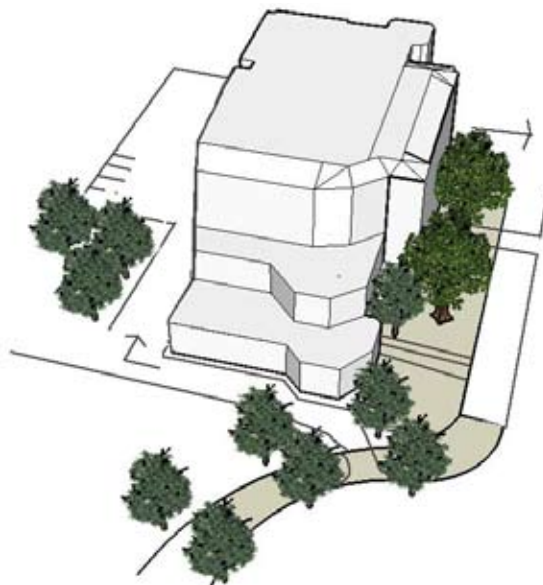
**Photo 2.** Buildings are articulated to provide aesthetic interest and maximize private spaces. Roof lines fit within the character of the surrounding neighbourhood.



**Photo 3.** Rain gardens provide common residential spaces and minimize site runoff from paved areas.

### Design Considerations:

All buildings must have a strong pedestrian/street orientation on the ground floor.



Apartment residential buildings front entrance faces onto the street. Parking areas and entrances to parking should be concealed alongside or behind the building.

**Table 1. Residential Land Use Designations - Building Typologies and Design Considerations**

	Designation	Density (units/ha)	Proposed Typology	Average Lot Dimension	Max. Lot Coverage (%)	Parking (stalls/unit)	Required Stormwater Management
	Country Residential	12 – 26	<b>Standard Lot Single Family</b> with permitted coach house above garage (accessed from alley), secondary suites and flex housing <i>Located on blocks with alley ways</i>	16.5m x 40m	70%	2 stalls for unit 1 stall per coach house	absorptive topsoil (18")
	Single Family Village Residential	22	<b>Small Lot Single Family</b> with permitted secondary suites and flex housing <i>Located on lot with and without alley ways</i>	15m x 30m	50%	1 per unit No driveways on street allows for street parking	absorptive topsoil (18")
	Multi-family Village Residential	32 - 41	<b>Duplex</b> with rear access parking with on site coach house (above garage) - <i>Located on lot with alley</i> <b>Duplex</b> with front access parking (from street)	16.5m x 40m	70%	1 stall per unit 1 stall per coach house	absorptive topsoil (18") extra area allowed for rain gardens on lots that are across the street and down slope from single family lots
				16.5m x 30m	60%	1 stall per unit	absorptive topsoil (18")
			<b>Triplex</b> (through to six-plex) front access parking (from street) <i>Located on lot without Alley</i>	24m x 30m (8m building frontage unit)	63%	1 stall per unit	absorptive topsoil (18")
	Apartment Residential	63	<b>Apartment</b> 4 to 6 storey, mixed use commercial residential permitted in the Village Centre	70m x 100m	51% max unless underground parking provided	1.5 per apartment unit (on average)	absorptive topsoil (18") Site drains to rain garden for 6mth storm (3 lmm)

**Country Residential - Standard Lot Single Family**  
(with or without Coach House)

16.5m  
40m  
30m

**Small Lot Village - Single Family**

15m  
30m  
60m

**Multi-Family Village Residential - Duplex and Duplex with Coach House**

16.5m  
40m  
30m

**Average Block - 24 to 48 units**  
12 to 26 units per hectare (5 to 11 u.p.a.)

198m  
86m  
6m  
street

**Average Block - 20 units**  
22 units per hectare (9 u.p.a.)

150m  
60m  
15m  
street

**Apartment Residential**  
4 Storey Apartments - 50 units  
41 units per hectare (>26 u.p.a.)

100m  
80m  
15m  
street

**Multi-Family Village Residential - Triplex**

24m  
30m  
60m

**Average Block - 48 units**  
41 units per hectare (17 u.p.a.)

192m  
60m  
24m  
street

**Average Block - 32 units**  
32 units per hectare (13 u.p.a.)

200m  
50m  
16.5m  
street

**Average Block - 72 units**  
41 units per hectare (17 u.p.a.)

198m  
86m  
16.5m  
street

**Block organization:**  
To maintain street-oriented residential area - blocks should be 'capped'

Street Front  
Street Front



# Land Use Plan



On narrow lots - Offset duplex housing to create a shared middle pathway to side entrances

Ensure multi-family housing has the same amenities found in single family homes - garden spaces, private entry, parking.

In addition to general land use policies, the following policies are applied to specific residential land use designations:

## **Country Residential (Standard Lot Single Family) and Single Family Village Residential (Small Lot Single Family)**

- 3.6 Accommodate Single Family Village Residential homes adjacent to Standard Lot Single Family.
- 3.7 Recognizing that Single Family Village Residential are a compact housing form, subdivision proposals must be in accordance with required setbacks, housing form and landscaping that contribute to well defined attractive streetscapes.

## **Multi-family Village Residential and Apartment Residential**

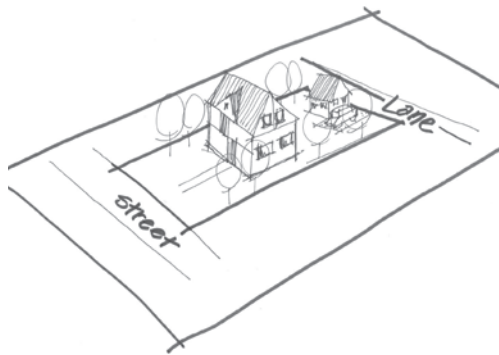
- 3.8 Continue to respond to housing needs, market and land constraints by facilitating attractive forms of compact housing types. Encourage multi-family housing that appeals to people seeking features traditionally associated with single-family housing. Such features may include: an area to garden, play or enjoy the outdoors; direct access at grade; workshop spaces; variety of unit sizes; and locations in family-oriented areas of the neighbourhood (close to amenities).
- 3.9 Accommodate Multi-Family Village Residential homes along primary neighbourhood arterials, and areas adjacent to the Harvest Village Centre.

# Land Use Plan

- 3.10 Ensure that the design of Multi-Family Village Residential homes contributes to a unified streetscape and provides ground-oriented units with direct access from the street. Buildings should be articulated to create adequate private and common spaces.
- 3.11 Ensure that individual units, their entries, and private outdoor spaces are designed to maximize privacy and clearly delineate private and common spaces.
- 3.12 Where special needs or affordable housing is provided an additional bonus density may be permitted.
- 3.13 All homes shall front the street and have their principal entry onto the street.



*Housing should present a friendly face to the street - doors and porches should be visible and garages should not extend beyond the front facade of the house.*



*Where possible, lanes should be used for access.*

# Land Use Plan



*A small commercial node integrated with park area is the heart of the neighbourhood.*

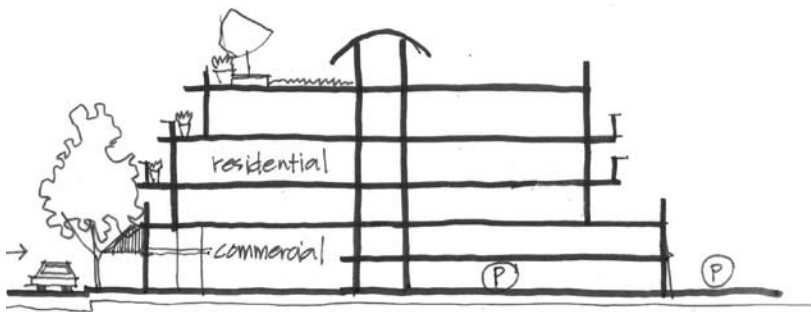
## **Mixed Use – Commercial**

- 3.14 No fewer than 465m<sup>2</sup> (5,000 sq.ft.) of commercial uses shall be provided.
- 3.15 Commercial uses shall be small in scale and local in nature. Commercial uses may be permitted outside the Harvest Village Centre and in the neighbourhood at the discretion of Council. Vehicle-oriented commercial uses such as drive-in or drive-through businesses, fast food outlets, gas bars, and service stations are inappropriate for the neighbourhood and are prohibited.
- 3.16 Apartment Residential buildings within the Harvest Village Centre will contain a mix of residential, live/work and commercial uses, and shall be a maximum of six stories in height.
- 3.17 All at-grade uses in the Harvest Village Centre shall be commercial along all street frontages. Residential uses should be situated above commercial uses in the Harvest Village Centre.
- 3.18 Primary building frontage in the Harvest Village Centre shall be built to the sidewalk,

with facades parallel to the property line directly abutting a sidewalk or open space, except on corners where building frontage may be at an angle.

- 3.19 All buildings shall have their principal entry onto the street.
- 3.20 Storefront module widths shall be a maximum of 12.0 metres to enable a pedestrian-scaled streetscape.

*Buildings should be articulated (stepped back) from the street to minimize the impact of height and facilitate views and solar exposure. Parking should be located behind or under the building.*



# PART B - DEVELOPMENT POLICIES

*To develop a safe, environmentally-friendly, community-oriented transportation system that prioritizes pedestrians and other non-motorized users.*



## 4.0 Access & Movement

### OBJECTIVE

To develop a safe, environmentally-friendly, community-oriented transportation system that prioritizes pedestrians and other non-motorized users.

### POLICIES

#### Neighbourhood Circulation

The transportation network follows a landscape oriented grid aligned with natural contours and that creates short blocks to provide multiple travel routes for vehicles and promote a pedestrian and cyclist friendly neighbourhood.

Refer to section **Section 5 – Infrastructure and Servicing** for streets designated as ‘stormwater streets’.

- 4.1 Access and movement throughout the neighbourhood should conform to the network as illustrated on **Figure 6 – Circulation**. Dead ends and cul-de-sacs are discouraged.
- 4.2 While rear lanes are encouraged, front-loaded street access may be provided where site development constraints such as steep topography, stormwater needs, natural features, environmentally sensitive areas, and/or parcel size or configuration would limit vehicular access. However, to enhance the pedestrian-oriented character of medium and high density residential areas, rear lane access is preferred.

#### Neighbourhood Arterials

- 4.3 Roads designated as neighbourhood arterials shall provide primary circulation in and out of the neighbourhood.

# DEVELOPMENT POLICIES

- 4.4 Amend the Subdivision and Development Servicing Bylaws to include neighbourhood specific streets for Neighbourhood Arterial - as shown in **Figure 7 and 8 - Neighbourhood Arterial**.
- 4.5 All Neighbourhood Arterials shall have sidewalks and street trees on both sides of the right-of-way.



## Residential (local) Roads

Refer also to section **Section 5 – Infrastructure and Servicing** for streets designated as ‘stormwater streets’.

*All streets should have sidewalks for pedestrian comfort.*

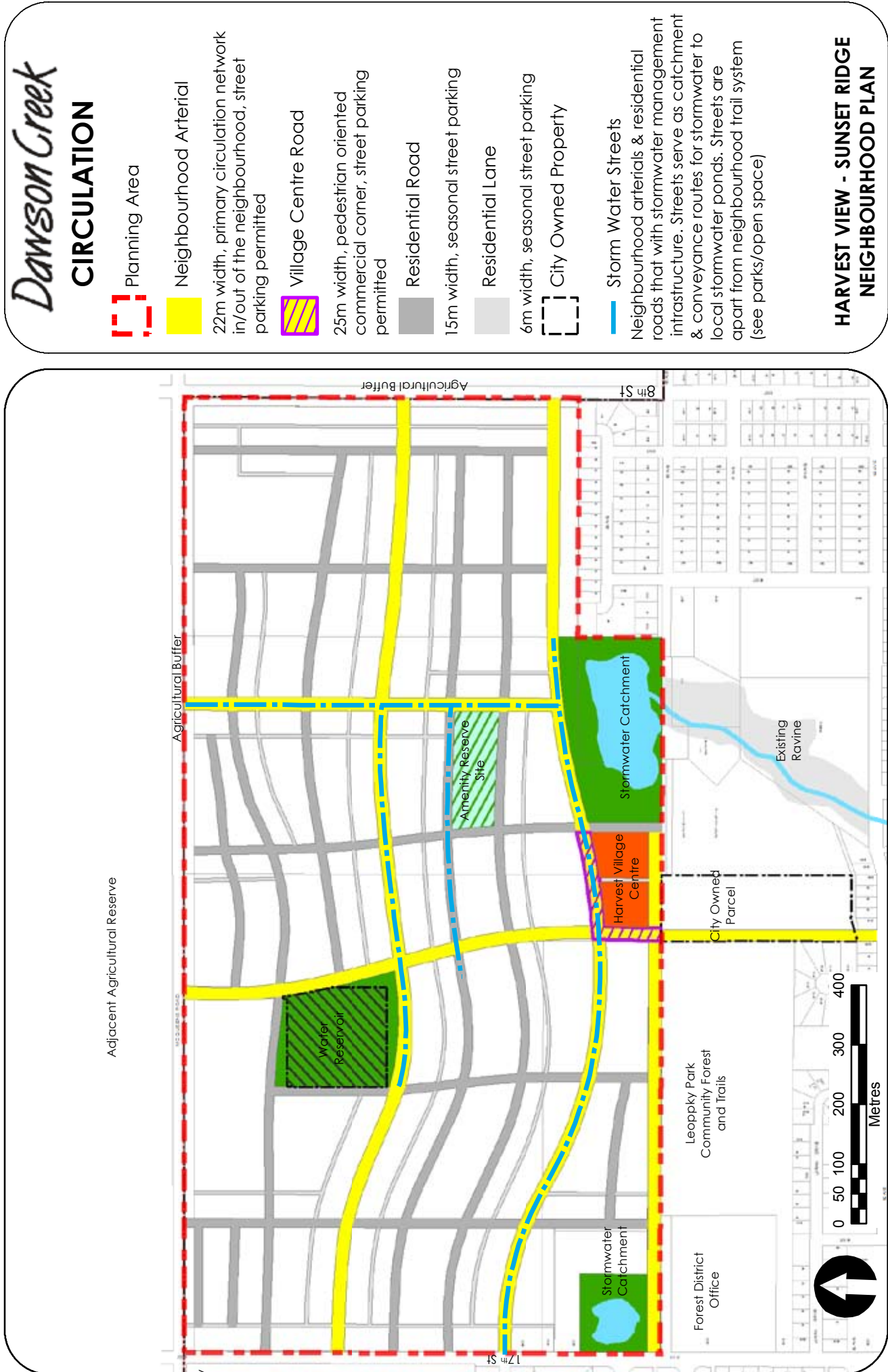
- 4.6 Streets designated as local – residential shall provide internal circulation within the neighbourhood.
- 4.7 Amend the Subdivision and Development Servicing Bylaws to include neighbourhood specific street standards for residential (local) roads as shown in **Figure 9 - Residential (local) Road**.
- 4.8 All Residential (local) Roads shall have sidewalks and street trees on at least one side of the right-of-way. Residential (local) Roads shall have sidewalks on both sides of streets within 1 block of the reserve site (for potential future school or recreation centre, and Harvest Village Centre).
- 4.9 All Local (Residential) Streets shall have sidewalks and street trees on at least one side of the right-of-way. Local (Residential) Streets shall have sidewalks on both sides of streets within 1 block of the reserve site (for potential future school or recreation centre, and Harvest Village Centre).



## Village Centre Road



Figure 6 - Neighbourhood Circulation.



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.



Refer to **Section 5 – Infrastructure and Servicing** for Village Centre Street, as it is designated as a ‘stormwater street’.

## Neighbourhood Trail Network

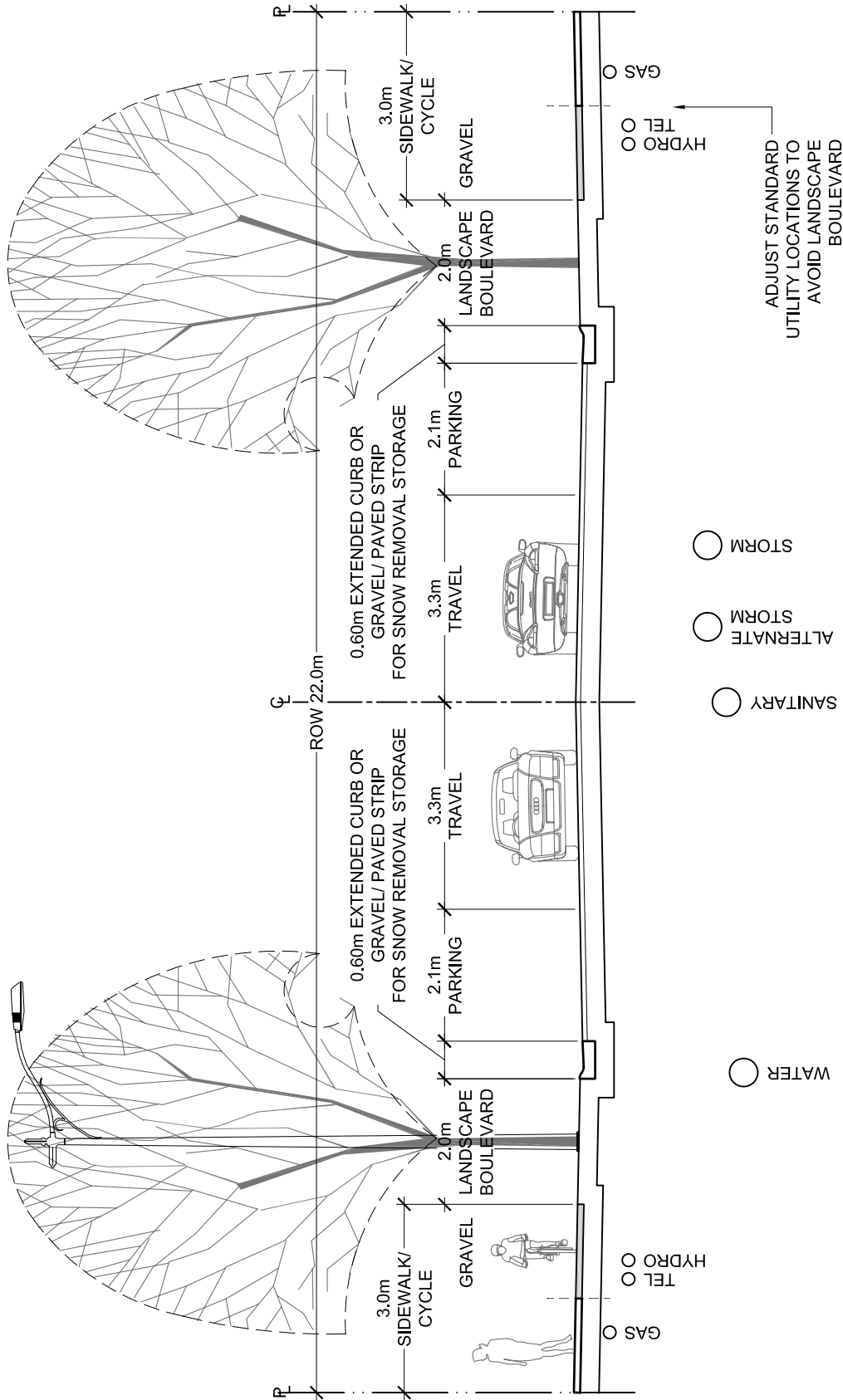
There are four multi-use trails connecting destinations throughout the neighbourhood – 1) Perimeter Trail, 2) Ridge Trail, 3) Pond Loop and, 4) Valley Trail. The objective of the trail network is to provide safe alternative recreational and commuter routes within and connecting out of the neighbourhood.

- 4.10 A multi-use trail system that accommodates the movement of pedestrians, cyclists and other non-motorized users in, out and through the neighbourhood shall be provided and shall conform to the routes identified in **Figure 10 - Parks and Open Space**.

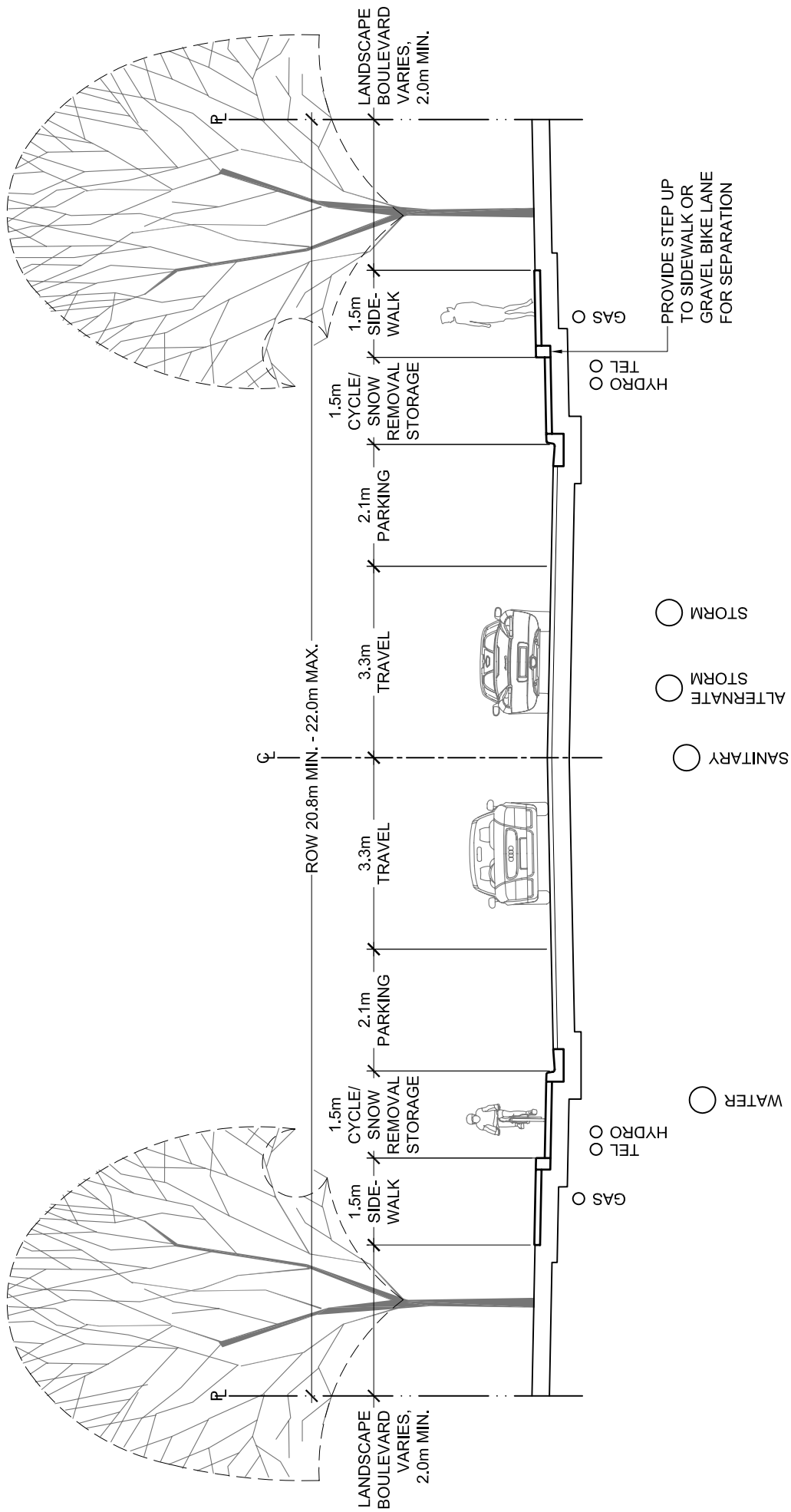
## Landscaping – Street Trees



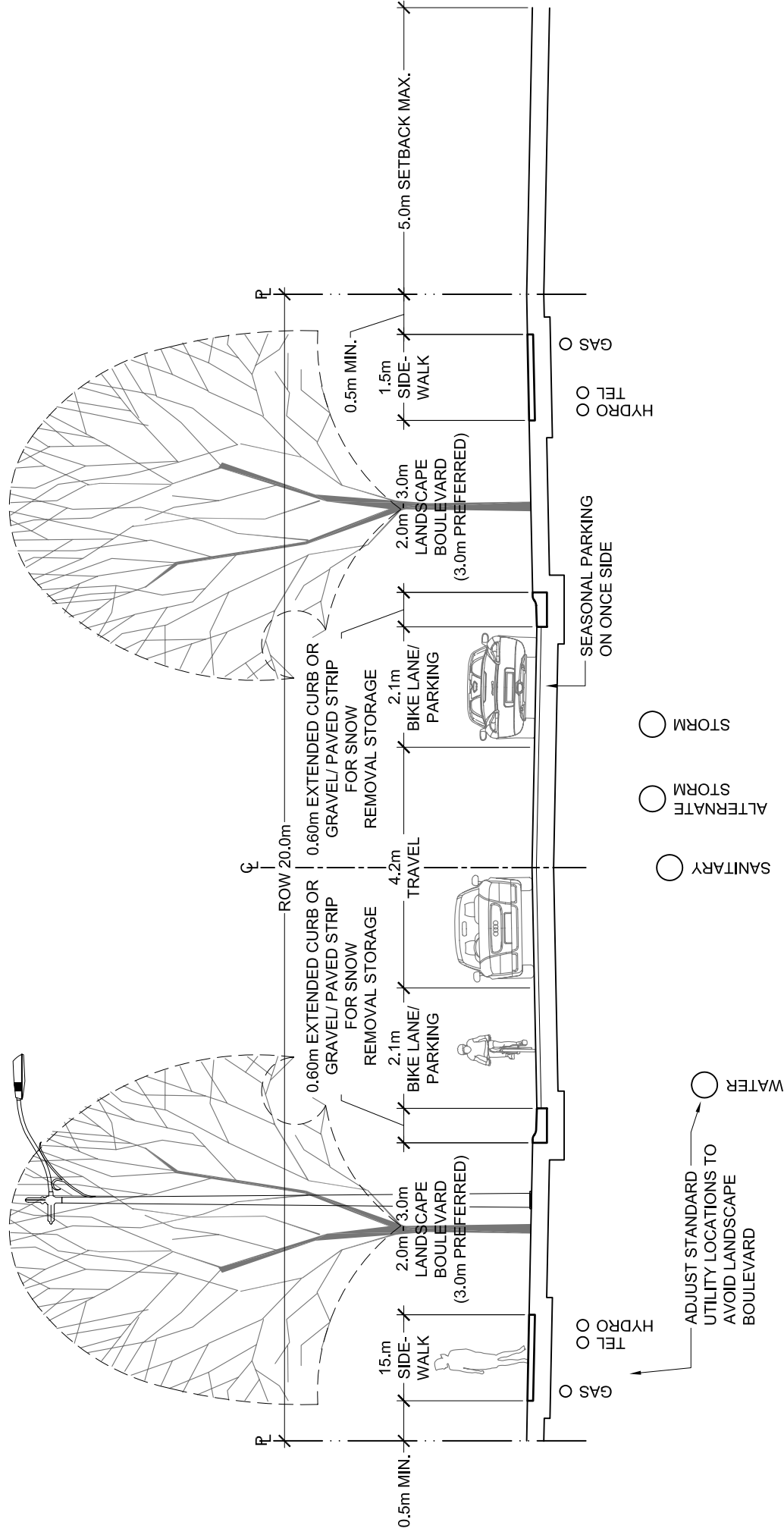
*The objective of a trail network is to provide safe alternative recreational and commuter routes within and connecting out of the neighbourhood.*



**Figure 7 - Conceptual option for the design of a neighbourhood arterial.**



**Figure 8 - Conceptual option for the design of a neighbourhood arterial.**



**Figure 9 - Conceptual option for the design of a residential (local) road.**

# DEVELOPMENT POLICIES

- 4.11 Amend the Subdivision and Development Servicing Bylaw to include boulevard trees as Supplementary Specifications with a schedule of suitable street tree species, size at planting, and Best Management Practices for planting and maintenance requirements. Preliminary list of approved species for the Sunset Ridge - Harvest View is included in **Appendix B – Preliminary List of Tree Species**.
- 4.12 With the City’s recommendation, determine and establish an optimal tree cover target to be achieved post-development on private and public property. Support residents with recommended list of species for landscaping.

## **Parking & Loading - General**

- 4.13 Where there are inconsistencies between parking and loading space requirements in Section 5 of the Zoning Bylaw and in this Neighbourhood Plan, policies in the latter will take precedent.



*All streets should  
have street trees  
and sidewalks for  
pedestrian comfort.*

# DEVELOPMENT POLICIES



*Option to reduce parking requirements where alternative on-street parking is available.*



*Garages shouldn't extend beyond the front facade of the house.*

## Residential Parking

Residential parking requirements are as follows:

**Table 2. Residential Parking Requirements**

Unit Type	Lane Access	Stalls/Unit (minimum)	Location
Country Residential	Yes	2	1 on-street 1 off-street
Country Residential - Coach Housing or Secondary Suite	Yes	3	1 or 2 on-street 1 or 2 off-street
Single-Family Village Residential	Yes	1	on or off-street
Single-Family Village Residential with Coach Housing or Secondary Suite	Yes	2	on or off-street
Duplex	Yes/No	1	on or off-street
Duplex with Coach Housing	Yes	2	1 or 2 off-street
Apartment	Yes/No	1.5 (avg.)	at building rear <sup>1</sup>

- 4.14 Garages, driveways and parking areas shall be accessed by rear lanes and prohibited along streets, unless rear lanes are not provided.
- 4.15 Where laneway (alley) access does not exist, permit vehicular access to Standard Lot Single Family residential lots from the street front provided that driveway crossing widths are minimized to reduce negative impacts on the pedestrian environment.

# DEVELOPMENT POLICIES

- 4.16 Where laneway (alley) access does not exist, promote shared access between adjacent residences to minimize the visual impact of driveways and the number of driveway crossings impeding the pedestrian environment.
- 4.17 Where laneway (alley) access does not exist, aesthetically minimize the extent of the front façade occupied by garage doors (provide detailing, set back from the front façade of the house, etc.)
- 4.18 Where rear yard access is not possible on internal streets, garages shall not extend beyond the front building facade.
- 4.19 Although rear lane access to Small Village Single Family residences is encouraged, front-loaded street access may be provided where site development constraints such as steep topography, natural features, environmentally sensitive areas, and/or parcel size or configuration would limit vehicular access options.
- 4.20 Where laneway access does not exist, promote shared access between adjacent residences to minimize the visual impact of driveways and the number of driveway crossings impeding the pedestrian environment.
- 4.21 An option to reduce on-site parking requirements by up to 30 percent and/or cash in lieu for off street parking (to be used for alternative transportation infrastructure) will be considered as part of development directly adjacent to the Village Centre area if justified through the demonstration of lower automobile ownership, shared parking opportunities and other long-term incentives for occupants (bicycles included with



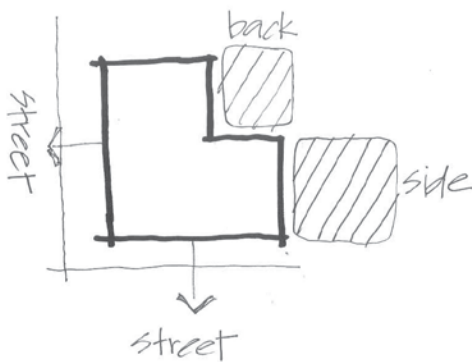
*Where possible,  
consider shared  
parking areas - in  
order to maximize  
green space.*



# DEVELOPMENT POLICIES



*On-street parking  
should be maximized.*



*Parking for  
commercial buildings  
should be concealed.*

the purchase of units, transit pass programs for residents).

- 4.22 Parking areas should be concealed, alongside or behind apartment residential buildings.
- 4.23 Priority parking on-street or stalls shall be provided for users of a car co-operative or car-share users, if and once it is established City-wide.

## **Commercial**

- 4.24 Off-street parking in commercial areas shall be permitted only at the rear of properties, and shall not be visible from a fronting street. Where rear parking is visible from a flanking street, landscaping shall be used to screen parking from the street.
- 4.25 Maximum allowable parking spaces for commercial uses shall be set at the minimum requirements for commercial parking spaces identified in Section 5 of the Zoning Bylaw. Underground parking is encouraged for off-street parking needs in the Harvest Village Centre, where feasible.
- 4.26 Where appropriate, implement traffic calming strategies/features (e.g. roundabouts) and traffic diversion strategies (e.g. pedestrian/cyclist-only streets)
- 4.27 Ensure safe and convenient transit stops are located near commercial, mixed-use and higher-density residential uses.

## 5.0 Infrastructure & Services

### OBJECTIVE

To manage wastes and use resources responsibly and efficiently to the benefit of the community.

### POLICIES

- 5.1 A detailed infrastructure and servicing plan for the neighbourhood is required as a part of the subdivision and development plan.

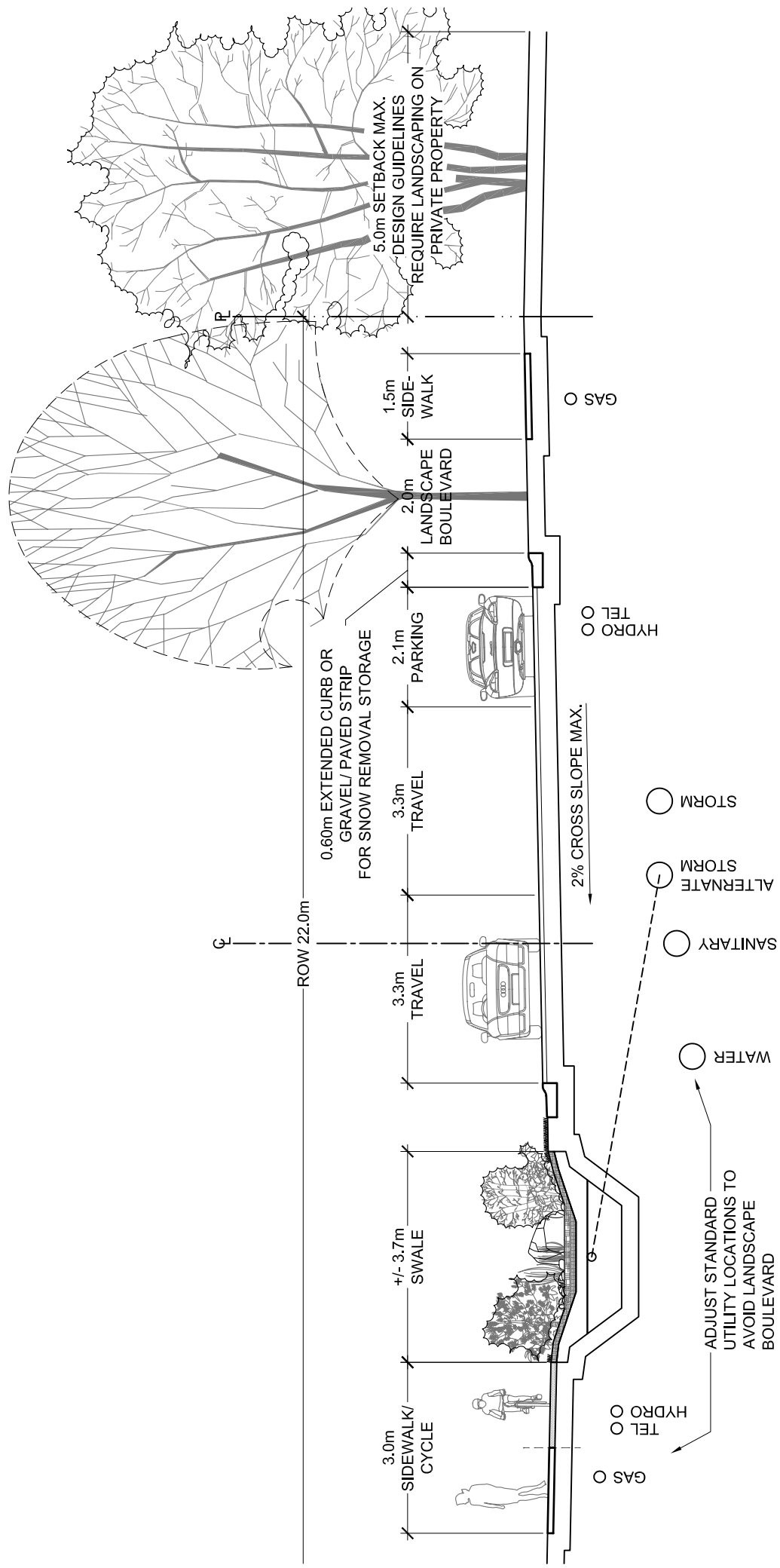
#### Stormwater Management

- 5.2 A plan for stormwater management must be addressed as a part of the subdivision and development plan and reflect the conceptual vision as described herein.
- 5.3 Amend the Subdivision and Development Servicing Bylaws to include neighbourhood specific street standards for the Village Centre Road, Neighbourhood Arterial and Residential (local) Road designated as stormwater streets as shown in **Figure 10 - Village Centre Road, Figure 11 - Neighbourhood Arterial and Figure 12 - Residential (local) Road**.
- 5.4 A rain garden shall be provided in apartment developments to assist in storm water management.
- 5.5 All residential development shall include 18 inches of absorptive topsoil to maximize water absorption.
- 5.6 In the absence of a City-wide stormwater management policy and design manual, **Appendix A – Recommended Stormwater Parameters**

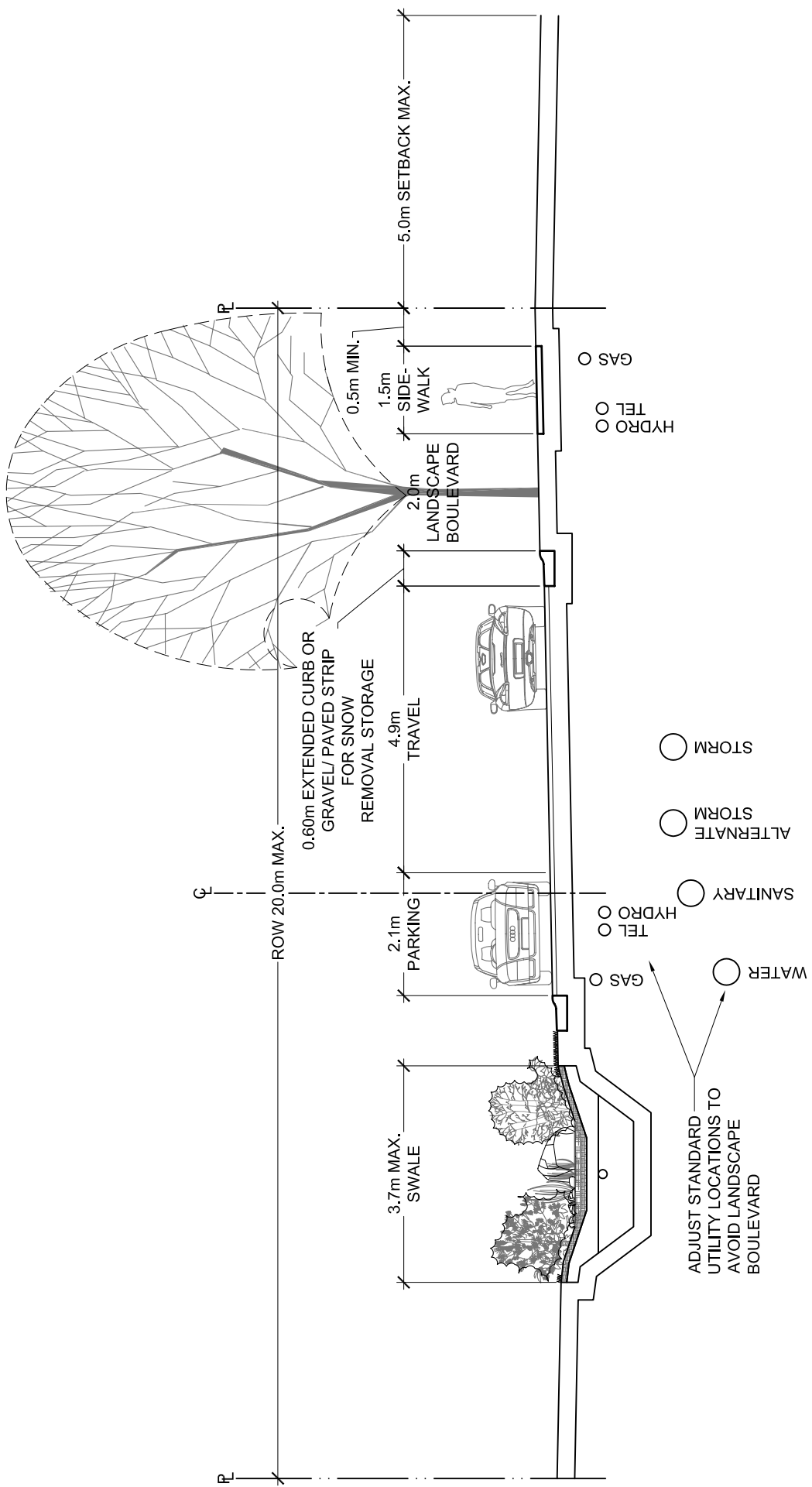


*To manage wastes  
and use resources  
responsibly and  
efficiently to the benefit  
of the community.*





**Figure 11 - Conceptual option for the design of a Neighbourhood Arterial stormwater street.**

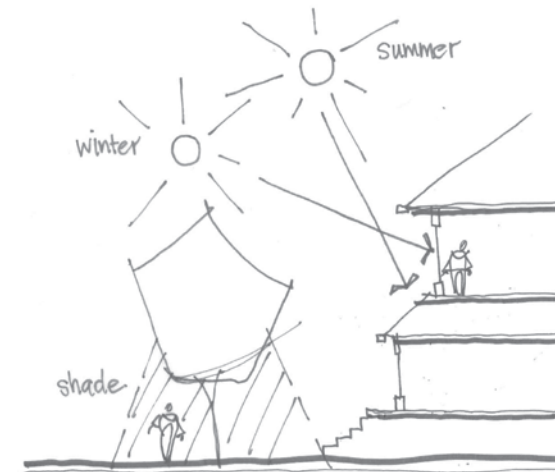


**Figure 12 - Conceptual option for the design of a Residential (local) stormwater street.**

# DEVELOPMENT POLICIES



*All housing should be solar-ready.*



Build to maximize passive solar gain.

shall be used as a guide in the development of residential lots.

- 5.7 Village Centre Road shall be the primary commercial road. Standards shall be reviewed and approved by the City Engineering. Design shall conform to Figure 9 – Village Centre Road – and shall include a swale for storm water management.

## Energy Efficiency

- 5.8 All residential and commercial buildings shall be built to maximize advantage of solar gain and natural ventilation.
- 5.9 If determined feasible, the neighbourhood shall be developed to accommodate the incorporation of district energy system.
- 5.10 Housing in the neighbourhood must be solar ready and should explore the installation of compatible heating systems and the required space for mechanical systems and connection point to accommodate geothermal exchange systems, should residents choose to retrofit the home in the future.
- 5.11 Use of Canadian Green Building Council - LEED (Leadership in Energy and Environmental Design) standards for multi-family and commercial and Canadian Home Builders – BuiltGreen for Single Family and Townhouse is encouraged as complementary to the approaches described in this plan. Developers are required to provide a statement of initiatives for energy efficiency as a part of subdivision approval process.

# DEVELOPMENT POLICIES



Space for waste stream separation (including recycling, composting and residual garbage.



## Waste

- 5.12 Space for waste stream separation and storage, including recycling, composting and residual garbage, shall be provided in all housing units or buildings.
- 5.13 Construction waste should be managed in an environmentally responsible way.
- 5.14 Builders for this neighbourhood must have reviewed the neighbourhood plan and familiar or have experience with sustainable construction.



# DEVELOPMENT POLICIES

## 6.0 Parks, Community & Culture

### OBJECTIVE

To promote social well-being, develop passive and active recreational opportunities, enhance food security, and offer cultural activities that meet a range of community needs.

### POLICIES

#### Affordable and Energy Efficient Housing

- 6.1 Reduced or exemption of development cost charges will be considered for development of affordable housing units and/energy efficiency (such as, for profit affordable rental units, small lot housing, green building or energy efficient rated housing, etc.)
- 6.2 The City will require that residential development should be in accordance with the most current policies available in Dawson Creek's Social Planning.

#### Parks and Open Space Dedication

- 6.3 A minimum of 5% percent of the neighbourhood area shall be designated as park or recreation area as shown in **Figure 13 – Parks and Open Space**. At minimum, designations shall include community park areas around the water reservoir and stormwater catchment systems, one smaller neighbourhood park, and a neighbourhood multi-use trail network (excluding the buffer requirements along agricultural land). The City may redistribute designated areas where necessary.

*To promote social well-being, develop passive and active recreational opportunities, enhance food security, and offer cultural activities that meet a range of community needs.*





# DEVELOPMENT POLICIES

- 6.4 Parks shall be multi-functional, and provide both passive and active recreational opportunities.
- 6.5 At least one park shall provide a youth and/or family-oriented recreational amenity.
- 6.6 An area shall be reserved for future school or recreational use. A review or survey of community needs shall be conducted prior to the construction of recreation centre or school, if required. The City may redistribute designated areas where necessary or request additional land area, if required.
- 6.7 Crime Prevention through Environmental Design guidelines as identified in the Dawson Creek Official Community Plan shall be applied to the neighbourhood. If there are inconsistencies between the guidelines and the neighbourhood plan policies, the latter will take precedent.
- 6.8 Front homes directly onto neighbourhood parks to encourage passive surveillance and security for these public spaces.



*Allow for the engagement  
of community groups in  
public spaces.*

## **Public Art Contribution**

- 6.9 Public art or space for cultural activities shall be provided in one or more public location, and shall be valued at 0.5% of estimated construction costs at the time of subdivision and development. A community survey or consultation with local arts & culture related groups may be required to determine appropriate needs and requirements. If public art is not determined appropriate, cash in lieu contribution to park development or recreational programming in parks shall be assumed.



*Community gardening shall be permitted in neighbourhood parks.*

## Destination and Neighbourhood Parks

Destination parks are defined as the larger destination parks within the neighbourhood. Neighbourhood parks are the smaller parks that serve more localized areas within the neighbourhood.

- 6.10 Community gardens shall be a permitted use in Neighbourhood Parks if organized by a local or neighbourhood society or adjacent institution (school, seniors centre, etc.) and as approved by the City Parks & Recreation Department. If desired by residents, dedicated space for growing food shall be permanent, viable, and determined as follows:

**Table 3. Guide for Determining the Need for Community Garden Space**

Density (dwelling units/acre)	Dedicated Growing Space m <sup>2</sup> (sq ft.)
7 to 14	18 (200sqft.)
> 14 and ≤ 22	9 (100sqft.)
> 22 and ≤ 28	7.5 (80sqft.)
> 28 and ≤ 35	6.5 (70sqft.)
> 35	5.5 (60sqft.)
<i>or approx. 3m<sup>2</sup> or 40sqft. for each person interested in growing</i>	

- 6.11 Neighbourhood parks will allow for some active park uses (bocce ball, lawn bowling, horse shoes, small playing fields, etc.).

## Neighbourhood Trail Network

There are four proposed multi-use trails connecting destinations throughout the neighbourhood – 1) Perimeter Trail, 2) Ridge Trail, 3) Pond Loop and, 4) Valley



# DEVELOPMENT POLICIES

Trail. The objective of the trail network is to provide safe alternative recreational and commuter routes within and connecting out of the neighbourhood.

- 6.12 A multi-use trail system that accommodates the movement of pedestrians, cyclists and other non-motorized users in, out and through the neighbourhood shall be provided and shall conform to the routes identified in Figure 7 – Parks and Open Space unless otherwise approved by the City.

- 6.13 Wayfinding infrastructure such as interpretative signage shall be provided to assist in navigation, and to educate trail-users about the neighbourhood's sustainability features.

- 6.14 Develop standards for multi-purpose neighbourhood trails with a schedule of Best Management Practices for maintenance.

## **Landscape & Integrated Infrastructure**

- 6.15 Public green spaces shall be landscaped to reduce water consumption and eliminate cosmetic pesticide use.

This may include:

- o Drought-resistant landscaping (xeriscape)
- o Native plant species

- 6.16 Where opportunities exist, promote responsible landscape maintenance and conservation practices on private property through leadership by example in parks and open spaces, as well as through awareness programs in partnership with local stewardship groups and educational institutions.



*Creative interpretation or signage should be provided where there are 'sustainable features' - such as stormwater ponds, swales, etc. to tell users about the neighbourhood features.*



*To create a sense of place, and celebrate the community's rural and agricultural assets.*

## 7.0 Agricultural Land Edges

### OBJECTIVE

To create a sense of place, and celebrate the community's rural and agricultural assets.

### POLICIES

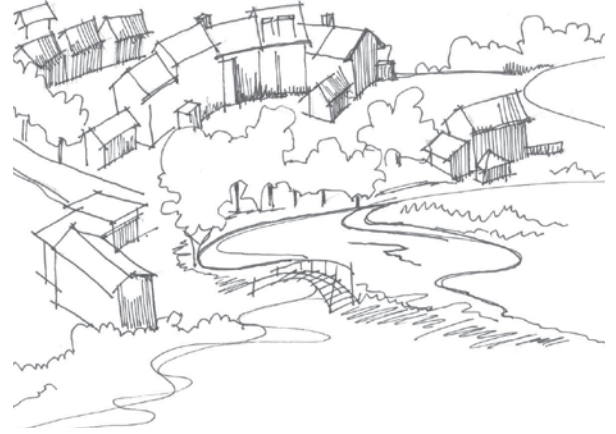
- 7.1 The City of Dawson Creek will support the application for exclusion of the subject properties from the Agricultural Land Reserve, where development is consistent with the following:

#### Edge/Buffer

- o All edges directly adjacent to agricultural land must conform to the standards set by the Agricultural Land Commission, unless otherwise approved.
- o The City will require an agricultural edge buffer retained as a public park amenity with a perimeter trail.
- o The total buffer width must be a minimum of 35m. This may include the adjacent public right of way (includes 8th St and McQueen Road) with the remaining 15m as a linear park trail.
- o A 3.0m (minimum 1.5m) wide perimeter trail shall be provided along the northern and eastern edges of the site. This trail must meet all Agricultural Land Reserve vegetated buffer requirements and/or guidelines. To guide development, trail conditions are outlined in **Figure 14 - Conceptual Options for Neighbourhood Trail System within the Agricultural Land Buffer and for Development Adjacent to it.**

# DEVELOPMENT POLICIES

- o The predominant use of native tree and shrub species for the vegetated buffer is required. Physical links to the Leopky Community Forest is encouraged.
- o An external perimeter fence along road edges is required to ensure the safety of trail users. The fence must conform to schedule D4 fencing guidelines as per ALC Buffer Guidelines. It must be dog/pet proof and discourage casual trespass.



*Where residential areas meet an agricultural edge, housing should be integrated through the use of landscape.*

## **Housing Adjacent to Buffers**

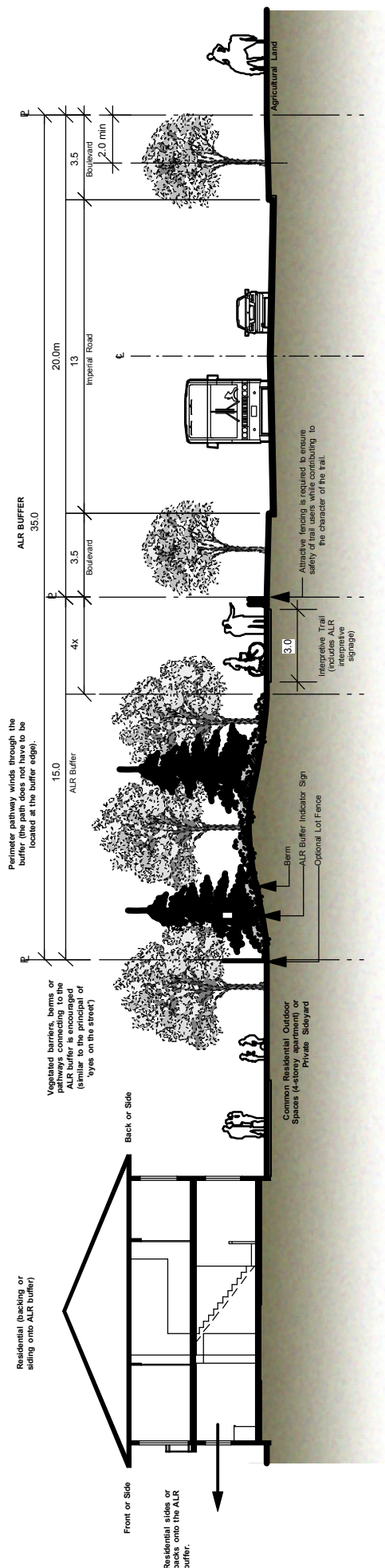
- o All single family and multi-family residences – except for apartments – along the ALR buffer are permitted to front the trail and agricultural land where indicated in the neighbourhood plan only.
- o Apartment residential that abuts the agricultural buffer edge shall explore appropriate ways to transition the buffer zone. Fencing the edge is discouraged. Use of berms and landscaping is encouraged.

## **Implementation**

- o The City of Dawson Creek will work with the ALC to implement the plan as intended and aligned with the planning goals described in this Neighbourhood Plan.

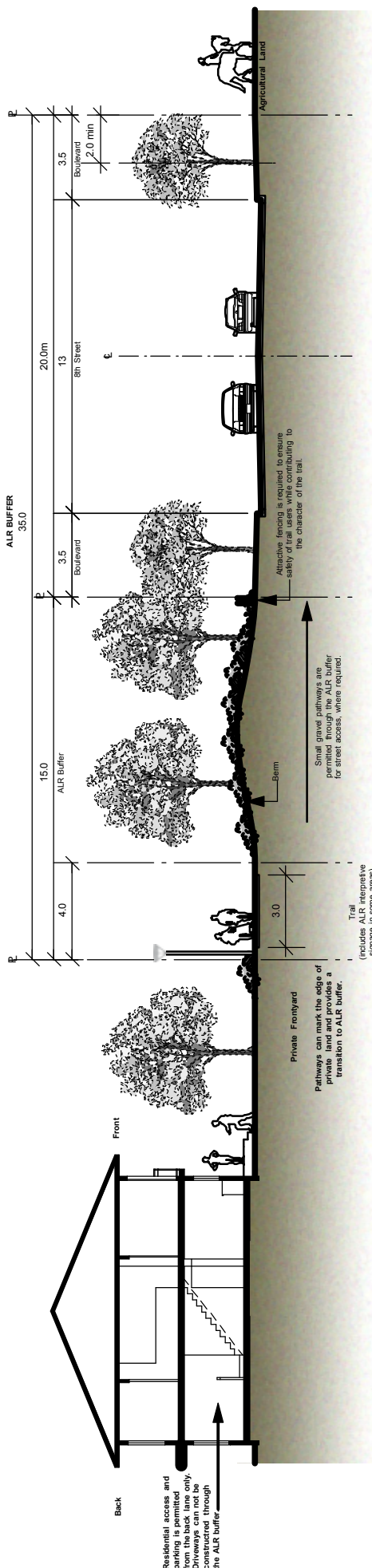


Figure 14 - Conceptual options for the neighbourhood trail system and the integration of development adjacent to the buffer.



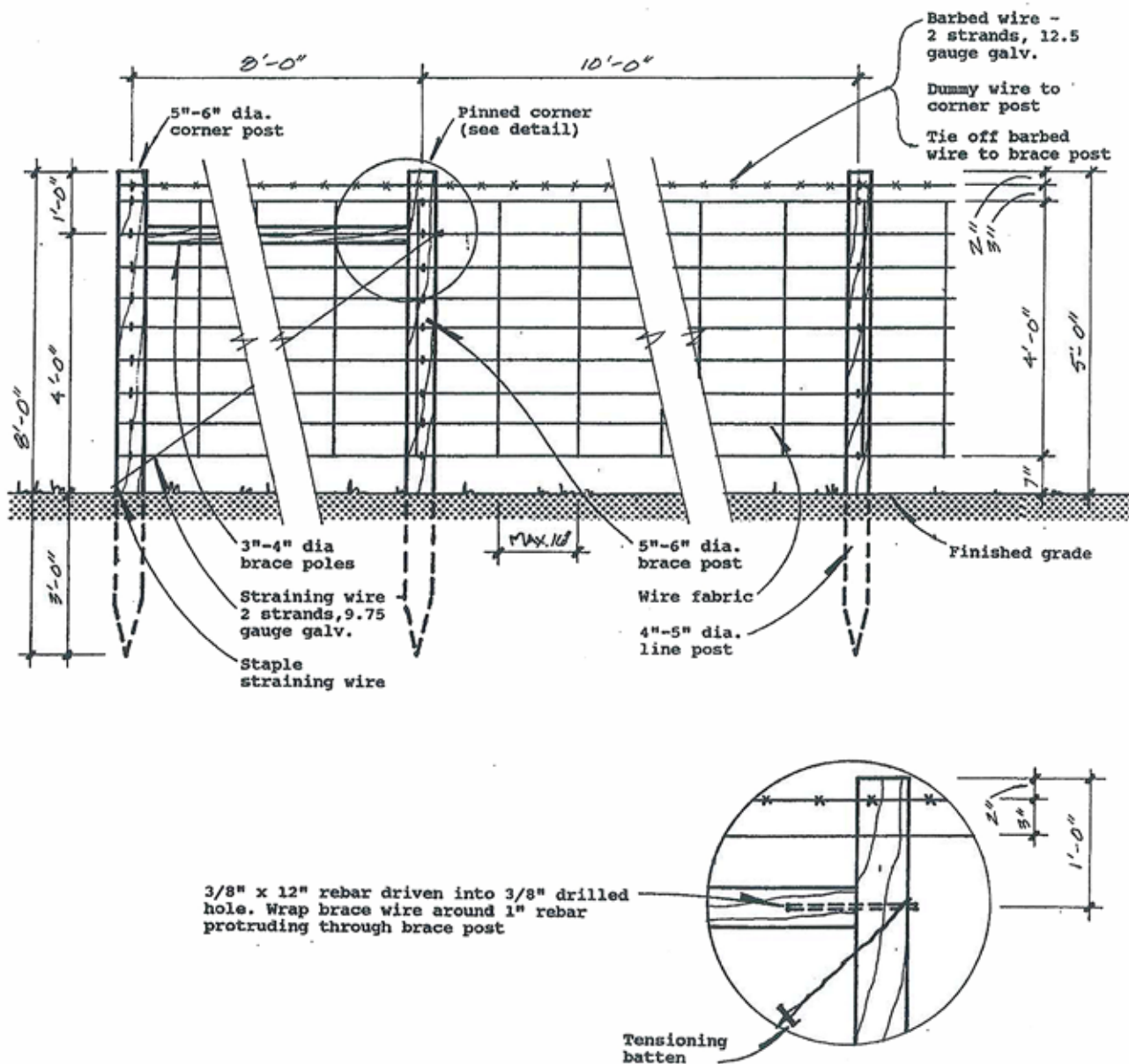
35m ALR Buffer @Imperial Road (north side)

Note: Planting shown is at maturity. Trees and shrubs will take time to establish and grow as a buffer. Where possible, existing mature trees along the edge of the property should be retained.



35m ALR Buffer @8th Street (east side)

**Figure 15 - Preferred fencing option for perimeter fencing within the ALR buffer. Schedule D: Fencing Specifications - D4: Wire Fabric Fence with One Strand Barbed Wire. Chain link fencing is discouraged.**



Landscape Buffer Specifications, Agricultural Land Commission, March 1998.

# DEVELOPMENT POLICIES

*To ensure that development proceeds in a manner that most efficiently and effectively utilizes existing infrastructure, and is most economically viable as new infrastructure is developed in the neighbourhood.*

## **8.0 Phasing**

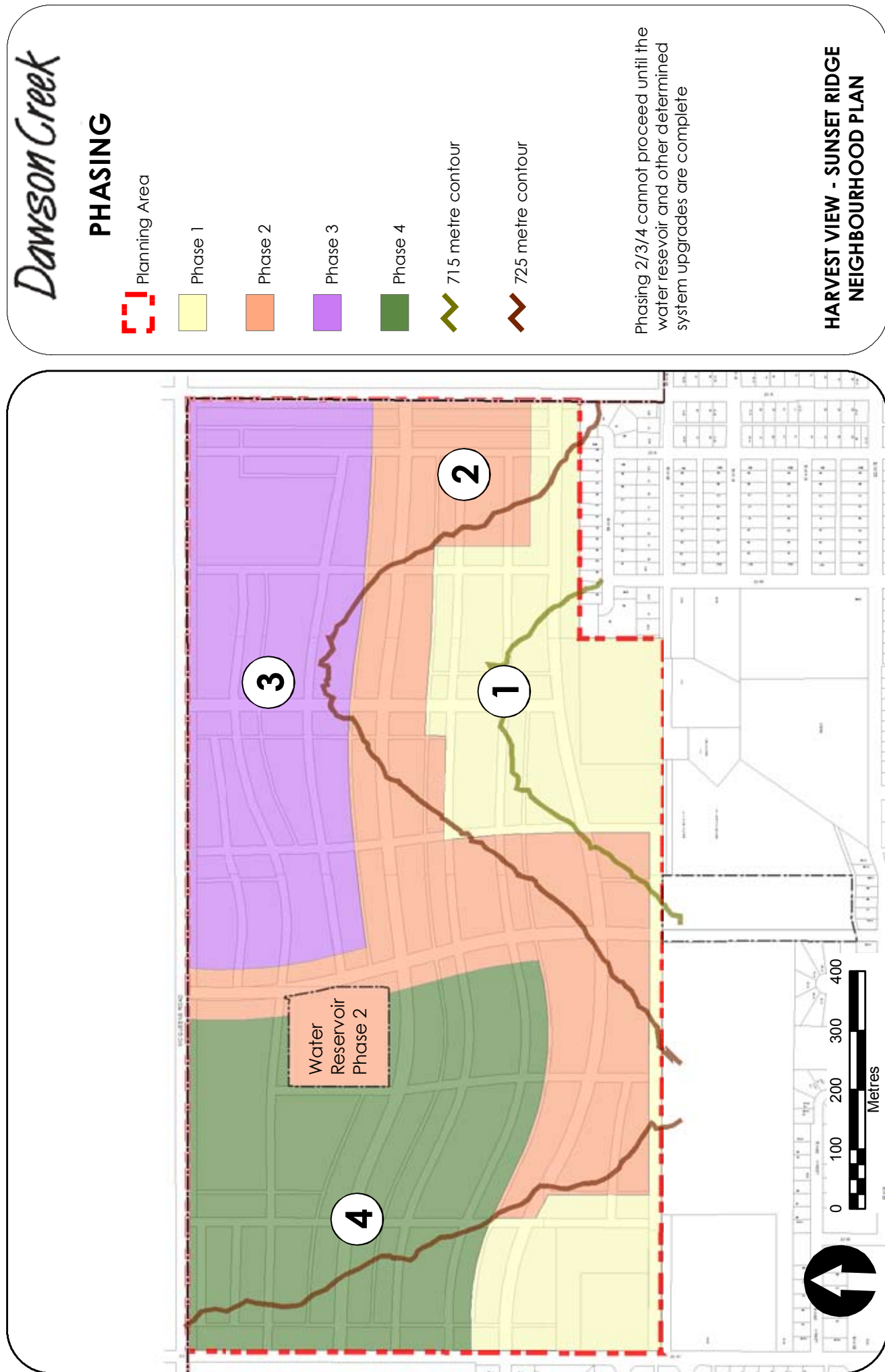
### **OBJECTIVE**

To ensure that development proceeds in a manner that most efficiently and effectively utilizes existing infrastructure, and is most economically viable as new infrastructure is developed in the neighbourhood.

### **POLICIES**

- 8.1 Development shall be governed by the technical feasibility of servicing as approved by the City and outlined in **Figure 15 – Phasing**.
- 8.2 All covenants and/or landowner agreements shall be in place as a condition of subdivision and development.

**Figure 16 - Phasing for the development - given adequate infrastructure and servicing agreements are in place.**



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.

# APPENDIX A



## APPENDIX B



## **Preliminary List of tree Species Suitable for Street Tree and Park Planting**

Acer negundo 'Sensation'  
Fraxinus 'Northern Gem'  
Fraxinus 'Northern Treasure'  
Fraxinus pennsylvanica 'Patmore'  
Malus 'Makamik'  
Malus 'Pink Spires'  
Malus 'Rudolph'  
Malus baccata  
Picea pungens 'Glauca'  
Picea glauca  
Sorbus aucuparia 'Rossica'  
Ulnus americana  
Tillia x flavescens 'Dropmore'

Please note that street tree considerations should not be limited to these suggestions. The suggestions provided are in the early stages of tree trials with the City of Dawson Creek but have so far proven to be suitable for the city's climate. Other species of Fraxinus, Malus, Sorbus, Ulnus, and Tillia may also be considered. Also of note, Prunus species are known to be disease prone and are not recommended.

# **APPENDIX 3 (A3)**

## **GLOSSARY OF TERMS**

This Glossary is not intended to be exhaustive, but rather includes terms that might be unfamiliar or require clarification.

**Accessibility** – Refers to the ability of a person with disabilities to, without assistance, approach, enter, pass to and from, and make use of an area and its facilities, or either of them.

**Active Transportation** – Human powered, personal travel chosen as an alternative to motorized travel and includes walking, running, hiking, cycling, the use of a wheelchair, cross-country skiing, roller blading, and other similar methods of travel.

**Adaptable Design** - Promotes accessibility of units by incorporating features in new construction (i.e. roughing in) that make it easier to convert later on.

**Affordable Housing** – Housing that can be rented or owned by residents without spending more than 30% of gross household income. Households earning below 80% of the median households income (\$40,800 per year in 2006) as published by Statistics Canada are in particular need. Affordable housing may be market housing or non-market housing.

**Albedo** – A surface's diffuse reflectivity, which directly impacts the degree to which passive solar heating and cooling occurs.

**Coach House** – A detached, secondary residential unit situated at the rear of a property, adjacent to an alley or lane.

**Conservation Covenant** - A voluntary legally-binding agreement made between a landholder and an authorised body (such as the City of Dawson Creek) that aims to protect and enhance the natural, cultural and/or scientific values of certain land.

**Core Housing Need** – A measure of the number of households living in housing stress. In Dawson Creek, this includes residents who were living in places that were unaffordable (often paying up to 50% of their income for shelter costs), inadequate (in poor condition) or overcrowded.

**Crime Prevention Through Environmental Design (CPTED)** – A proactive crime prevention strategy that focuses on analyses and solutions with respect to how the features of the environment can constrain criminal activity. CPTED strategies are based on the premise that the proper design and effective use of the built environment can lead to a reduction in the incidence and fear of crime and improve quality of life.

**Demand-Side Management** – An approach to conservation by reducing demand for energy, water, and other resources. It entails actions that influence the quantity or patterns of use of consumed by end users, rather than simply increasing efficiency.

**District Energy** – A decentralized, shared energy source that is distributed among a number of buildings and users.

**Eco-Industrial Networks/Networking** – Is a community or set of relationships between manufacturing and/or service enterprises located in close proximity, where members seek

enhanced environmental, economic, and social performance through collaboration in managing resources.

**Edible Landscaping** – Refers to the use of plants that produce food (i.e. in place of plants that are strictly ornamental).

**Extensive Green Roof** – A vegetated roof top that is designed to be virtually self-sustaining and should require only a minimum of maintenance.

**Food System** – Includes food production, processing, transportation, distribution, storage, retail, wholesale, consumption, celebration, and waste management and recovery.

**High Occupancy Vehicles** – Include vehicles with both a driver and passengers.

**Infill Development** – Development in the existing areas of the city, occurring on vacant or underutilized lands, or behind or between existing development, and is compatible with the characteristics of the existing area.

**Integrated Infrastructure** – Infrastructure that brings together different systems to meet common environmental goals while performing different functions

**Intensive Green Roof** – A vegetated roof top that requires a reasonable depth of soil to grow large plants or conventional lawns, and are typically labour-intensive, requiring irrigation, feeding and other maintenance. "

**Local Improvement Charges** – Charges related to the costs associated with community improvements, borne by abutting properties and/or development proponents. They are often paid for over time through property taxes.

**Low Occupancy Vehicles** – Include vehicles with drivers and no passengers.

**Native Vegetation/Species** – Naturally occurring plant communities, including a range of vegetation associations such as woodlands, grasslands, forests, and wetlands.

**Pedestrian Oriented, Pedestrian Friendly, or Walkable** – Is a type of environment designed to make travel on foot convenient, attractive, and comfortable for people of various ages and abilities. Considerations include the directness of the route, safety, amount of street activity, separation of pedestrian and auto circulation, street furniture, surface material, sidewalk width, prevailing wind direction, intersection treatment, curb cuts, ramps, and landscaping.

**Public Art** – An original artwork that is accessible to the general public and has aesthetic qualities. Typically this art takes into consideration site and context.

**Regional-serving** – Commercial uses whose client-base includes non-residents (i.e. individuals living in the region but not in Dawson Creek).

**Universal Design** - A product, environment, building design (e.g. including bathrooms and kitchens) and construction that aims to accommodate the functional needs of everyone; including children, adults and seniors, with or without disabilities.

**Visitable Housing** - New homes that offer three specific accessibility features that allow a person with mobility limitations, including wheelchair users, to visit the home.

**Xeriscaping** - Landscaping and gardening in ways that reduce or eliminate the need for supplemental irrigation. Xeriscaping often utilizes native/indigenous species.