

## Schedule 'B' - Comprehensive Development Zones

### CD14 - Comprehensive High Tech Business Campus

#### 1.1 Purpose

The purpose is to provide a **zone** for **high tech research** and **high tech product design** and other complementary **uses**, where these **uses** are comprehensively planned within a business campus.

#### 1.2 Principal Uses

The **principal uses** in this **zone** are:

- (a) **High Technology Research and Product Design**

#### 1.3 Secondary uses

The **secondary uses** in this **zone** are:

- (a) **accounting services**
- (b) **amusement arcades, major**
- (c) **amusement arcades, minor**
- (d) **apartment hotels**
- (e) **broadcasting studios**
- (f) **business support services**
- (g) **child care centre, major**
- (h) **commercial school**
- (i) **custom indoor manufacturing**
- (j) **financial services**
- (k) **food primary establishment**
- (l) **government services**
- (m) **health services**
- (n) **home based business, minor**
- (o) **liquor primary establishment, minor**
- (p) **offices**
- (q) **participant recreation services, indoor**
- (r) **personal service establishments**
- (s) **private clubs**
- (t) **religious assemblies**
- (u) **retail stores, convenience**
- (v) **utility services, minor impact**

#### 1.4 Subdivision Regulations

- (a) The minimum **lot area** is 18,800 m<sup>2</sup>, as shown in CD14 Map A.

## 1.5 Development Regulations

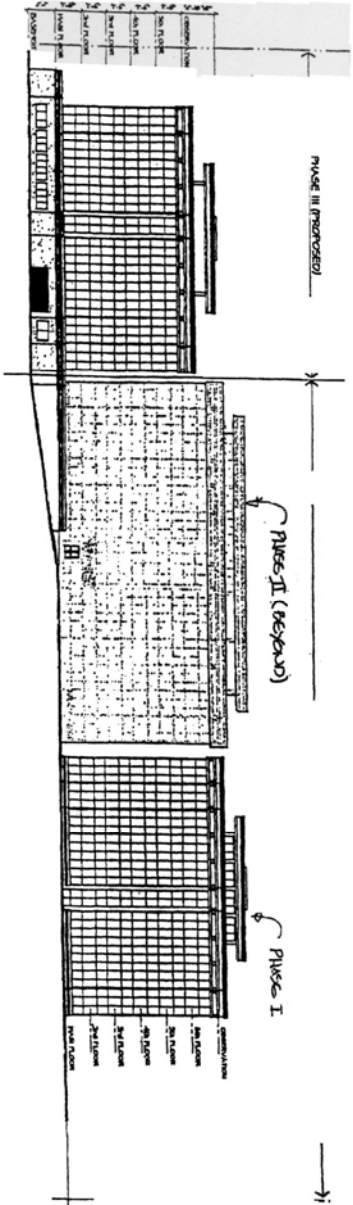
- (a) The maximum **site coverage** 50%.
- (b) The maximum **floor area ratio** is 1.0.
- (c) The maximum **height** is the lesser of 22.0m or 6 storeys as shown in CD14 Map B.
- (d) The minimum **front yard** is 4.5 m notwithstanding section 6.10.
- (e) The minimum **side yard** is 0.0 m.
- (f) The minimum **rear yard** is 0.0 m.

## 1.6 Other Regulations

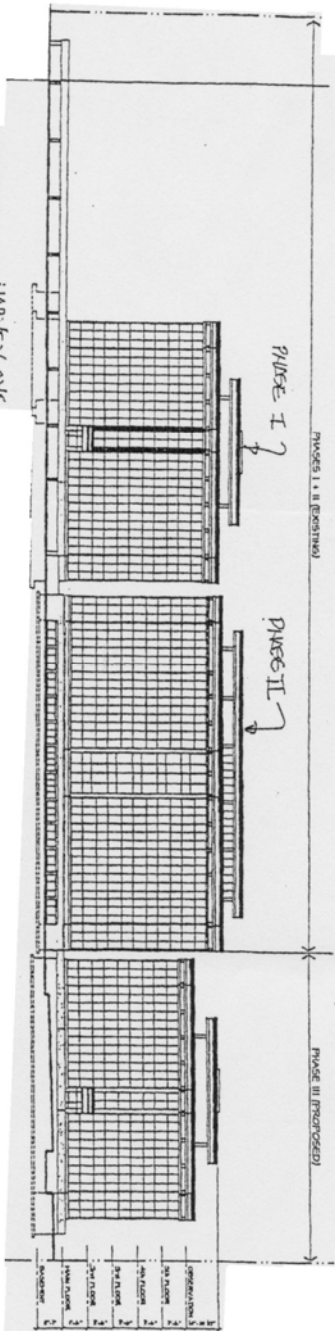
- (a) Within the CD14 zone, the lands shall be developed in general accordance with the plans of the Comprehensive Development Project as approved and incorporated as CD14 Maps A and B.
- (b) **Principal Use** shall comprise not less than 50% of **uses** permitted on site.
- (c) **Financial, accounting, insurance and legal services** shall be limited to a maximum total **gross floor area** of 35% total **gross floor area** of the development. Main bank branches are not permitted.
- (d) **Health services** shall be limited to a maximum total **gross floor area** of 500 m<sup>2</sup>.
- (e) **Apartment Housing** is allowed only above the **first storey** and requires access to grade separate from the **commercial uses**.
- (f) **Apartment Housing** and **apartment hotels** shall provide a minimum area of 6 m<sup>2</sup> of **private open space** per **bachelor dwelling**, 10 m<sup>2</sup> of **private open space** per **one bedroom dwelling**, and 15 m<sup>2</sup> of **private open space** per **dwelling** with more than **one bedroom**.
- (g) A minimum of 25% of the gross site area must be allocated for usable **open space**. This does not include area within the required **side, front or rear yards**.
- (h) For the purposes of signage, the CD14 zone shall be considered under the terms of the C3 zone, with the exception that no **portable signs** are permitted.
- (i) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6, the **landscaping** and **fencing** provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.
- (j) For the purposes of landscaping requirements, the CD14 zone shall be considered under the terms of the C3 zone.
- (k) Drive-in food services are not a permitted form of development in this zone.



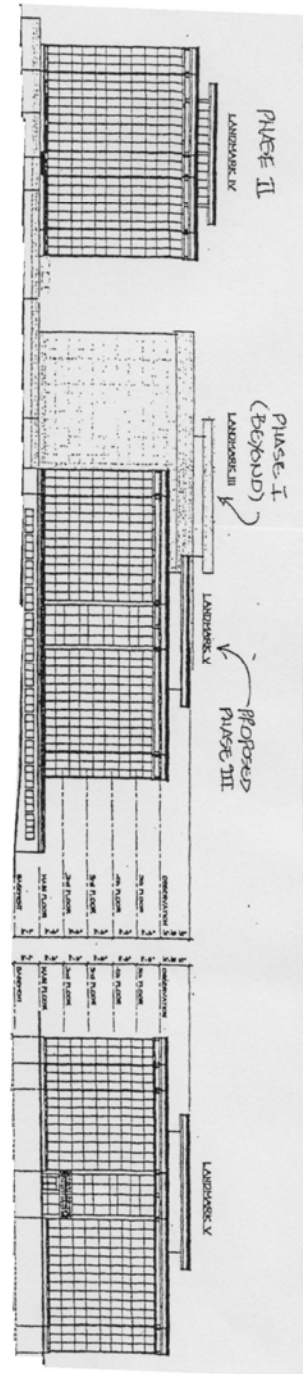
SOUTH ELEVATION  
DICKSON AVENUE



NORTH ELEVATION  
HARVEY AVE



WEST ELEVATION  
SCOTT ST



EAST ELEVATION

Comprehensive High Tech Business Campus  
Phase III

PHASE V  
DECEMBER 14, 2004

(5)

CD 14 - MAP B

**CD14 - MAP C**

**A4.01 WEST ELEVATION**

LANDMARK SQUARE  
DICKSON AVENUE  
PARKING GARAGE

**A4.01**

**ELEVATIONS**

DATE: 2008-03-22  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**A4.02 SOUTH ELEVATION**

DATE: 2008-03-22  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**A4.03 NORTH ELEVATION**

DATE: 2008-03-22  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**MEMLEDOHN ARCHITECTS INC.**  
REVISED MARCH 2008

## Schedule 'B' - Comprehensive Development Zones

### CD15 – Airport Business Park

#### 1.1 Purpose

The purpose is to provide a **zone** for the development of a comprehensively planned business park for high technology and general **industrial** and **business uses** to complement the City's northern gateway development node. This **zone** will also provide for a neighbourhood commercial area as part of the airport business park development.

#### 1.2 Principal Uses

1.2.1 The **principal uses** for areas noted as **industrial** on CD15 Map 1, which is attached to and forms part of this bylaw, are:

- (a) **animal clinic, major**
- (b) **auctioneering establishments**
- (c) **automotive rentals**
- (d) **breweries and distilleries, major**
- (e) **broadcasting studios**
- (f) **business support services**
- (g) **child care centre, major**
- (h) **commercial storage**
- (i) **contractor services, limited**
- (j) **custom indoor manufacturing**
- (k) **emergency and protective services**
- (l) **food primary establishments**
- (m) **fleet services**
- (n) **general industrial**
- (o) **liquor primary establishment, minor**
- (p) **mobile home sales**
- (q) **non-accessory parking**
- (r) **offices**
- (s) **participant recreation services, indoor**
- (t) **recycling depots**
- (u) **temporary parking lot**
- (v) **utility services, minor impact**
- (w) **vehicle and equipment services, industrial**
- (x) **warehouse sales**

1.2.2.1 The **principal uses** for areas noted as **commercial** on CD15 Map 1 are:

- (a) **business support services**
- (b) **food primary establishment**
- (c) **financial services**
- (d) **gas bars**
- (e) **health services**
- (f) **liquor primary establishment, minor**
- (g) **offices**
- (h) **participant recreation services, indoor**
- (i) **personal service establishments**
- (j) **private clubs**
- (k) **recycled materials drop-off centres**
- (l) **retail liquor sales establishment**
- (m) **retail stores, general**

### 1.3 Secondary Uses

The **secondary uses** for areas noted as **industrial** on CD15 Map 1 are:

- (a) **residential security/operator unit**
- (b) **outdoor storage**

### 1.4 Subdivision Regulations

1.4.1 The subdivision regulations for areas noted as **industrial** on CD15 Map 1 are:

- (a) The minimum **lot width** is 40.0m.
- (b) The minimum **lot depth** is 35.0m.
- (c) The minimum **lot area** is 4,000m<sup>2</sup>.

1.4.2 The subdivision regulations for areas noted as **commercial** on CD15 Map 1 are:

- (a) The minimum **lot width** is 40.0m.
- (b) The minimum **lot depth** is 35.0m.
- (c) The minimum **lot area** is 1,500m<sup>2</sup>.

### 1.5 Development Regulations

1.5.1 All **buildings** and **structures** shall have a minimum setback of 7.0m and a maximum setback of 10.0m from a **property line abutting** the Highway 97 right of way.

1.5.2 The first 3.0m of the setback noted in section 1.5.1 above, measured from the **property line abutting** the Highway 97 right of way, shall be intensively landscaped with shrubs, trees and amenity areas, as shown on Figure 1 and Figure 2 attached to and forming part of this bylaw.

1.5.3 In addition to the requirements of sections 1.5.1 and 1.5.2 above, further development regulations for areas noted as **industrial** on CD15 Map 1 are:

- (a) The maximum **floor area ratio** is 1:1.5.
- (b) The maximum **height** is the lesser of 18.0m or 4 storeys.
- (c) The minimum **front yard** is 6.0m.
- (d) The minimum **side yard** is 0.0m where adjacent to a **commercial** or **industrial** zone, except that it is 6.0m where adjacent to any other zone, and 4.5m where adjacent to a **flanking street**.
- (e) The minimum **rear yard** is 0.0m where adjacent to a **commercial** or **industrial** zone, except that it is 6.0m where adjacent to any other zone, and 4.5m where adjacent to a **flanking street**.

1.5.4 In addition to the requirements of section 1.5.1 and 1.5.2 above, further development regulations for areas noted as **commercial** on CD15 Map 1 are:

- (a) The maximum **site coverage** is 50%.
- (b) The maximum **height** is 2 ½ storeys.
- (c) The minimum **front yard** is 3.0m.
- (d) The minimum **side yard** is 0.0m where adjacent to a **commercial** or **industrial** zone, except that it is 6.0m where adjacent to any other zone, and 4.5m where adjacent to a **flanking street**.
- (e) The minimum **rear yard** is 0.0m except that it is 4.5m where adjacent to a **flanking street**.

## 1.6 Outdoor Storage

- (a) There shall be no **outdoor storage** on commercially designated sites.
- (b) There shall be no **outdoor storage** in **front yards** or **side yards** and there shall be no **outdoor storage** in **rear yards** adjoining Highway 97.
- (c) **Outdoor storage** shall be screened from view from any street or adjoining property with landscaping or materials that are consistent with the overall site development, as shown on Figure 3 attached to and forming part of this bylaw.
- (d) **Outdoor storage** shall be consolidated into a single area per lot.
- (e) **Outdoor Storage** on a single lot shall not exceed the building area used by the business on that lot to carry on its operations.
- (f) There shall be no **outdoor storage** of toxic, noxious, explosive, odorous or radioactive materials.
- (g) Materials in **outdoor storage** shall be associated with the **principal use** located on the site, and there shall be no **outdoor storage** of unrelated materials.
- (h) Illumination of **outdoor storage** areas shall be such that light falling onto **abutting** properties is minimized.
- (i) Stored materials shall be screened from vehicle and pedestrian sightlines, as shown on Figure 4 attached to and forming part of this bylaw.

## 1.7 Outdoor Display or Sales Areas and Non-accessory Parking

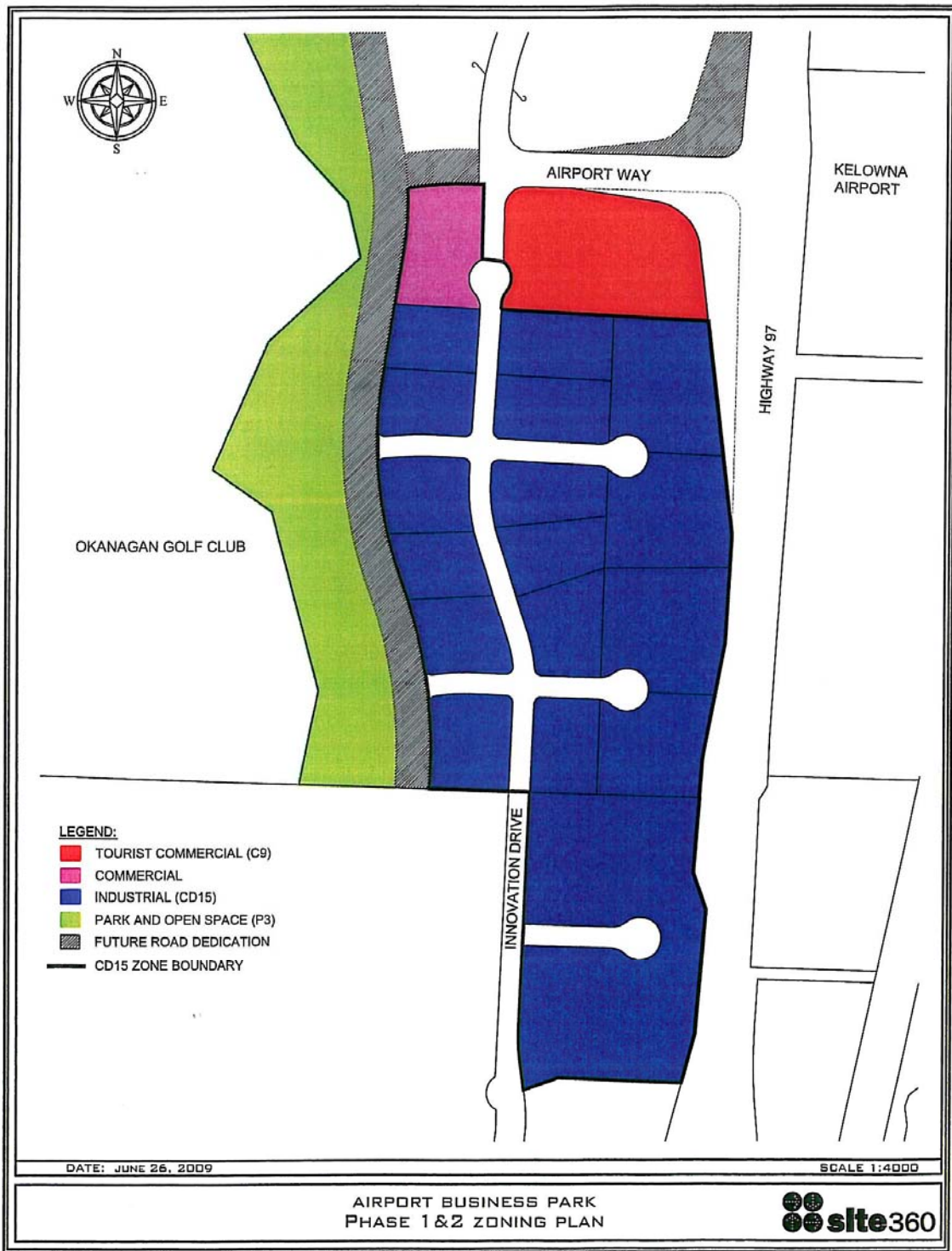
- (a) Outdoor display or sales areas and **non-accessory parking** shall be developed consistent with the Section 8.3 Development Standards for Vehicle Parking and Loading.
- (b) The area used for outdoor display or sales on any lot shall not exceed 70% of the site **frontage**.
- (c) Outdoor display or sales, or **non-accessory parking**, shall not encroach into landscaped areas.
- (d) Equipment or vehicles in an outdoor display or sales, or **non-accessory parking**, shall not be in a state of disrepair.

## 1.8 Other Regulations

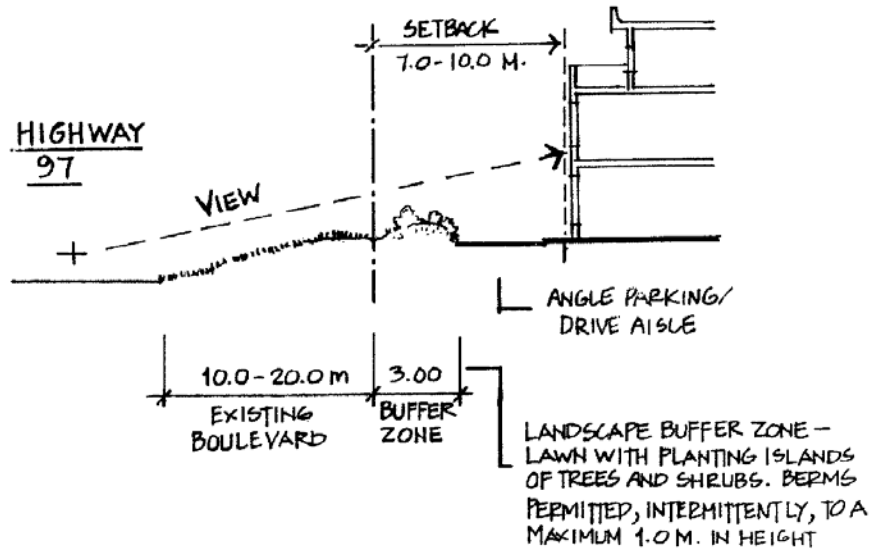
- (a) No **uses** shall be permitted which result in the creation of a nuisance such as noise, odour, earthborne vibrations, heat, high brightness light sources, or dust which is apparent outside an enclosed building in which the use is taking place.
- (b) Where permitted, only one **residential security/operator unit** shall be permitted per lot.
- (c) In addition to the regulations listed in this section, other regulations apply. These include, where not inconsistent with the provisions of this Section, the general **development** regulations of Section 6, the **landscaping** and **fencing** provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.
- (d) The total **net floor area** for any **commercial** use in this zone shall not exceed 3,000 m<sup>2</sup>.
- (e) **Building facades** facing Hollywood Road, interior roads, Airport Way and Highway 97 are deemed to be principal facades. Principal facades shall be articulated with glazing or other relief amounting to not less than 30% of the total façade.
- (f) Building materials shall not include vinyl or wood siding.

- (g) Building materials on principal **building facades** shall not include unfinished concrete block.
- (h) Multi-storey buildings shall use floor to floor terracing to increase amenity space as well as views, as shown on Figure 5 attached to and forming part of this bylaw.
- (i) Rooftop screening of mechanical and electrical equipment shall be provided using materials consistent with the treatment of principal facades.
- (j) Utility cabinets other than those located by utility companies in statutory rights-of-way shall be located behind the front wall of a principal facade and not within a required **front yard** setback.
- (k) When loading doors occur on street facing facades they shall be set back from the main building plane and articulated in a manner that compliments the **building facade**.
- (l) Truck turn-around requirements shall be accommodated on site.
- (m) For the purposes of landscaping, the CD15 zone shall be considered under the terms of specific regulations for the "Industrial – I1" zone except for the following:
  - i. A 3.0m landscaped buffer shall be provided on the Highway 97 property line.
  - ii. The Hollywood Road boulevard shall be landscaped and maintained as a grassed boulevard until such time as the roadway is constructed to 4-lane arterial standards.
  - iii. 20% of the total number of trees noted as the landscape plan shall be specimen quality coniferous trees arranged in groupings.
  - iv. Landscaped areas shall include amenities for passive use including seating areas and walkways.
  - v. Undeveloped portions of sites (including areas scheduled for future expansion) shall be landscaped with lawn as a minimum treatment.
  - vi. The boulevard between the **property line** and the developed road edge or sidewalk will be completed concurrently with on-site landscaping and these areas in the public realm shall be developed and maintained by the individual lot developers or owners, as per City of Kelowna, City Road Right-Of-Way Landscaping & Maintenance Policy No. 016, and as shown on Figure 6 attached to and forming part of this bylaw.
- (n) For the purposes of signage, the CD15 zone shall be considered under the terms of zone regulations for industrial or commercial zones, as applicable, except for the following:
  - i. Portable signs are not permitted.
  - ii. Signs on Highway 97 shall be logo or wordmark signs only.
  - iii. Directional signage consisting of designation or advisory information only (such as loading, shipping, or receiving) shall be designed as an integral part of the building and landscape design with respect to size, style, location, colour and materials, and may exceed one sign per business.
- (o) Drive-in food services are a permitted form of development in the area designated for commercial development in this zone as shown on Map 1, provided they are structurally connected to and affiliated with a food primary establishment.

- Map 1 -

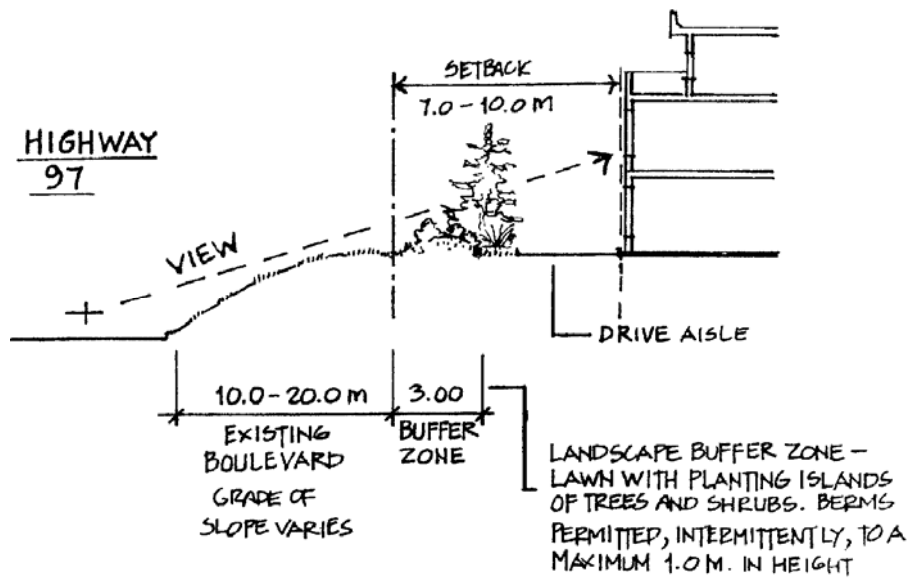


- FIGURE 1 -



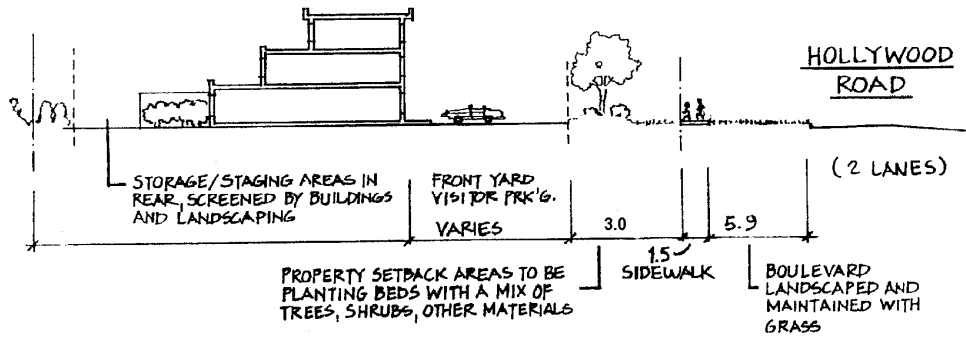
*LANDSCAPING ALONG HIGHWAY 97 – SHALLOW SLOPE BOULEVARD*

- FIGURE 2 -



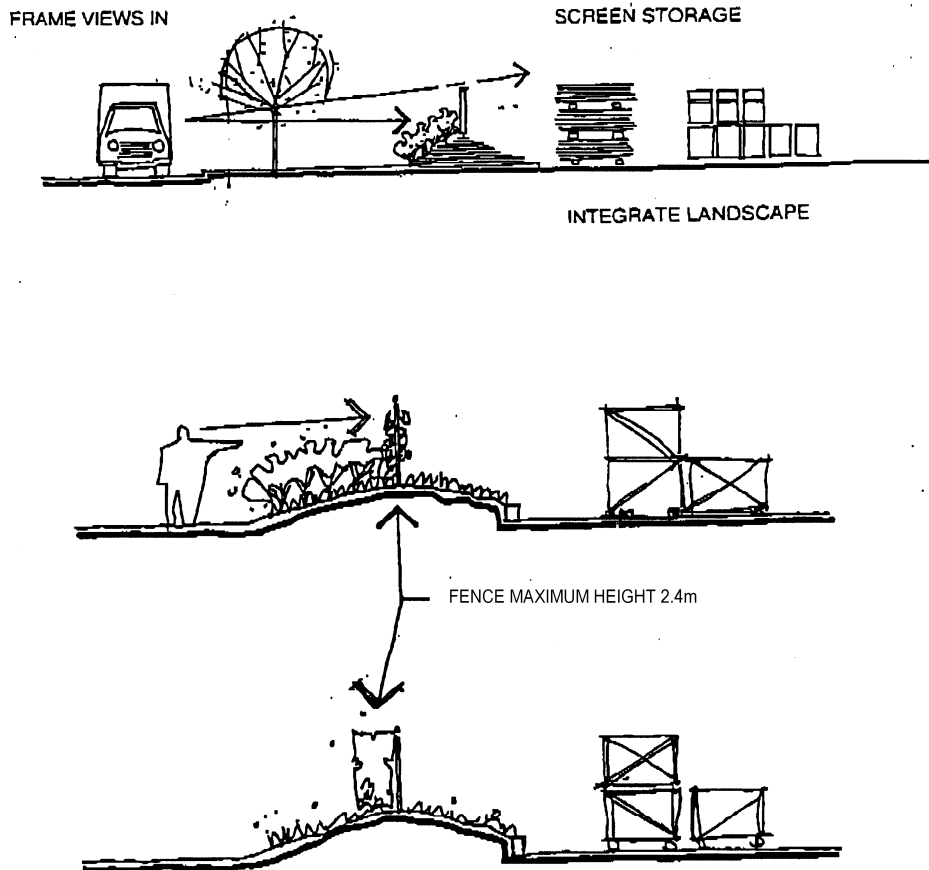
*FOUNDATION LANDSCAPING ALONG HIGHWAY 97 – STEEPLY SLOPED BOULEVARD*

- FIGURE 3 -

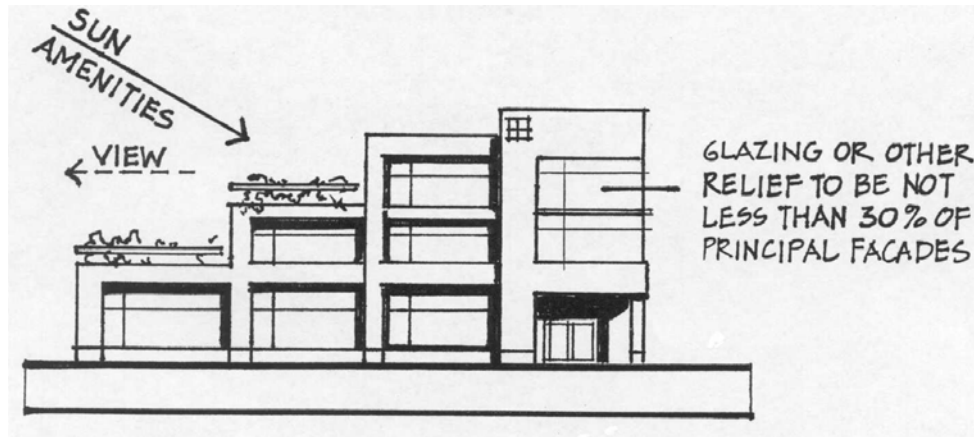


Ancillary Uses and Facilities-

FIGURE 4 -

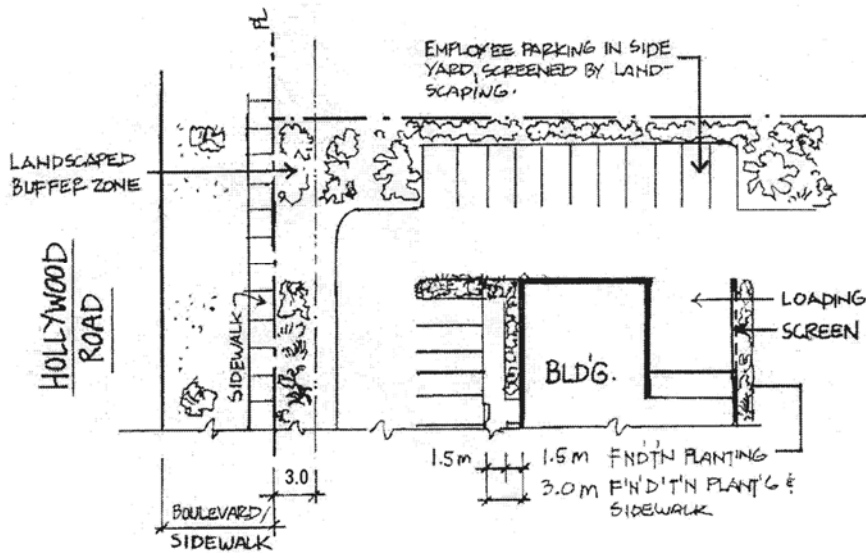


- FIGURE 5 -



**TERRACED FORMS AND BUILDING ARTICULATION**

- FIGURE 6 -



**FOUNDATION PLANING/EMPLOYEE PARKING/LOADING FOR DOUBLE-FRONTING BUILDINGS**

## Schedule 'B' - Comprehensive Development Zones

### CD16 – Bingo and Gaming

#### 1.1 Purpose

The purpose is to designate a **zone** for bingo and related gaming uses and other complementary uses.

#### 1.2 Principal Uses

The **principal uses** in this **zone** are:

- (a) **business support services**
- (b) **food primary establishment**
- (c) **gaming facilities**
- (d) **liquor primary establishment, major**

#### 1.3 Secondary Uses

The **secondary uses** in this **zone** are:

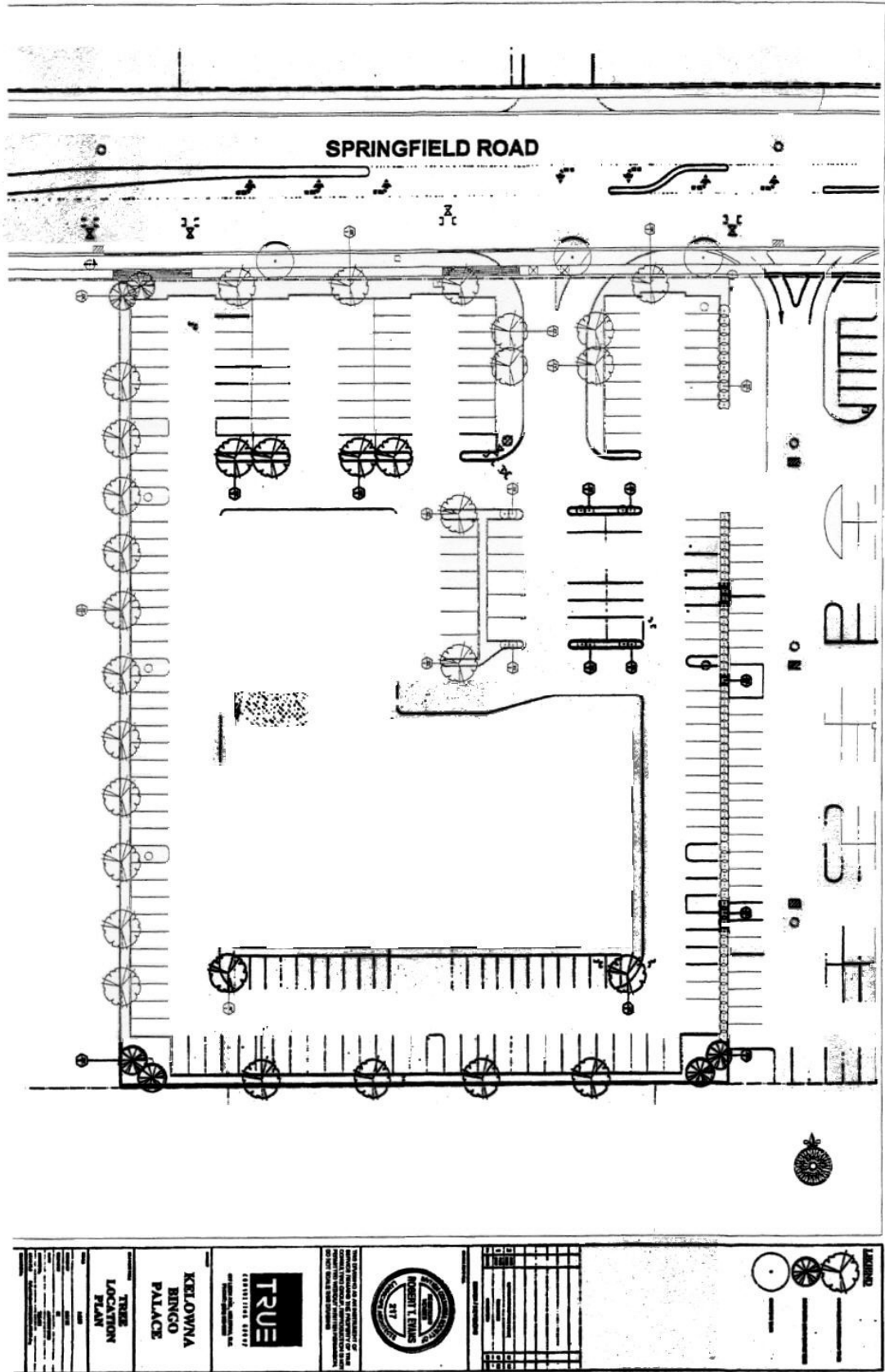
- (a) **liquor primary establishment, minor**

#### 1.4 Development Regulations

- (a) The maximum **floor area ratio** is 0.40.
- (b) The maximum **site coverage** is 25%.
- (c) The maximum **height** is the lesser of 12.0 m or 3 **storeys**.
- (d) The minimum **front yard** is 24.0 m.
- (e) The minimum **side yard** is 15.0m
- (f) The minimum **rear yard** is 21.0 m.

#### 1.5 Other Regulations

- (a) In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 6 (accessory development, yards, projections into yards, lighting, stream protection, etc.), the landscaping and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific use regulations of Section 9.
- (b) Servicing requirements and sign regulations shall be applied as if the subject property were located in the C10 – Service Commercial zone.
- (c) Development of the subject property is limited to that shown on the **CD16 – Bingo and Gaming Site Plan**.
- (d) Drive-in food services are not a permitted form of development in this zone.



## Schedule 'B' – Comprehensive Development Zones

### CD17 – Mixed Use Commercial - High Density

#### 1.0 Purpose

The purpose is to provide a **zone** for large scale mixed-use commercial/residential developments.

#### 1.1 Principal Uses

The **principal uses** in this **zone** are:

- (a) **apartment hotels**
- (b) **business support services**
- (c) **commercial schools**
- (d) **financial services**
- (e) **food primary establishment**
- (f) **government services**
- (g) **health services**
- (h) **hotels**
- (i) **liquor primary establishment, major**
- (j) **liquor primary establishment, minor**
- (k) **non-accessory parking**
- (l) **offices**
- (m) **participant recreation services, indoor**
- (n) **personal service establishments**
- (o) **public libraries and cultural exhibits**
- (p) **retail liquor sales establishment**
- (q) **retail stores, convenience**
- (r) **retail stores, general**
- (s) **temporary parking lot**

#### 1.2 Secondary Uses

The **secondary uses** in this **zone** are:

- (a) **apartment housing**
- (b) **home based businesses, minor**

#### 1.3 Subdivision Regulations

- (a) The minimum **lot width** is 13.0 m, except it is 40.0 m if there is no **abutting lane**.
- (b) The minimum **lot depth** is 30.0 m.
- (c) The minimum **lot area** is 10,000m<sup>2</sup>.

**\*Note:** The strata-titling of lots is not subject to the subdivision regulations listed above.

## 1.4 Development Regulations

- (a) The maximum **floor area ratio** is 2.0. Where **parking spaces** are provided totally beneath habitable space of a principal **building** or beneath **useable** common amenity areas providing that in all cases, the **parking spaces** are screened from view, an amount may be added to the **floor area ratio** equal to 0.2 multiplied by the ratio of such **parking spaces** to the total required **parking spaces**, but in no case shall this amount exceed 0.2. In no case shall the **floor area ratio** exceed 2.2.
- (b) The maximum **site coverage** for principal buildings and accessory structures is 45%. The maximum site coverage including parking areas and driveways is 75%.
- (c) The maximum **height** is the less of 55.0m or 16 storeys.
- (d) The minimum **front yard** is 0.0 m, except **non-accessory parking** shall have a landscaped buffer in accordance with Section 7.
- (e) The minimum **side yard** is 0.0m, except it is 2.0m where the **site** abuts a residential **zone** other than an RU1, RU2, RU3 or RU4 zone, in which case the minimum **side yard** is 4.5m. From a **flanking street** the minimum **side yard** is 0.0m
- (f) The minimum **rear yard** is 0.0 m, except it is 6.0 m where **abutting** a residential **zone**.

## 1.5 Other Regulations

- (a) Apartment housing and **major group homes** require access to grade separate from the **commercial uses**. In the case of elevator equipped **buildings, uses** can share elevators provided security measures are in place to restrict access to residential areas.
- (b) A minimum area of 7.0 m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling, congregate housing bedroom or group home bedroom**, 12.0 m<sup>2</sup> of **private open space** shall be provided per 1 **bedroom dwelling**, and 18.0 m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 **bedroom**.
- (c) **Financial services** shall have a maximum total **gross floor area** of 500 m<sup>2</sup> unless a larger branch of the **Financial services** establishment is located within the C7 zone.
- (d) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development, yards**, projections into **yards**, accessory **development, lighting, stream protection, etc.**), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.
- (e) Commercial parking shall be calculated in accordance with the C4 – Urban Centre Commercial zone and residential parking shall be calculated based on the apartment housing standard.
- (f) Drive-in food services are not a permitted form of development in this zone.

## Schedule 'B' – Comprehensive Development Zones

### CD18 – McKinley Beach Comprehensive Resort Development

#### 1.1 PURPOSE

The purpose is to provide a zone for the development of a comprehensively planned multifaceted destination community having a variety of commercial and accommodation uses organized around a central lifestyle village.

#### 1.2 PRINCIPAL AND SECONDARY USES

The principal and secondary uses in this zone vary in accordance with the key resort elements identified in the Vintage Landing Area Structure Plan adopted as part of the Kelowna Official Community Plan. Pursuant to the Area Structure Plan this zone has been organized into (4) four distinctive areas as illustrated on Map A. Each area will have its own allowable principal and secondary uses as follows:

##### 1.2(a) AREA I Village Centre

###### **Principal Uses:**

The **principal uses** for the area designated as **Area I** on Map 1 are:

- (a) **apartment hotels**
- (b) **boat storage**
- (c) broadcast studio subject to 1.3h
- (d) **child care centre, major**
- (e) **community recreation services**
- (f) **congregate housing**
- (g) **emergency and protective services**
- (h) **exhibition and convention facilities**
- (i) **extended medical treatment services**
- (j) **food primary establishment**
- (k) **health services**
- (l) **hotels**
- (m) **liquor primary establishment**
- (n) **motels**
- (o) **non-accessory parking**
- (p) **offices**
- (q) **personal service establishments**
- (r) **private clubs**
- (s) **private education services**
- (t) **public parks**
- (u) **religious assemblies**
- (v) **retail liquor sales establishment**
- (w) **retail stores convenience**
- (x) **retail stores general**
- (y) reservation centres
- (z) **row housing** subject to 1.3g
- (aa) **single detached housing** subject to 1.3g
- (bb) **semi-detached housing** subject to 1.3g
- (cc) **temporary parking lot**

**Secondary Uses:**

The **secondary uses** for the area designated as **Area I** on Map 1 are:

- (a) **amusement arcades major**
- (b) **artisan live/work studios**
- (c) **custom indoor manufacturing**
- (d) **emergency and protective services**
- (e) **gaming facilities**
- (f) **participant recreation services indoor**
- (g) **participant recreation services outdoor**
- (h) **private open space**
- (i) **recycled materials drop-off centre**
- (j) **residential security / operator unit**
- (k) **secondary suites in single detached housing** subject to 1.3g
- (l) **spectator and entertainment establishments** subject to 1.3i
- (m) **utility services minor impact**

**1.2(b) AREA 2 Winery and Resort Accommodation****Principal Uses:**

The **principal uses** for the area designated as **Area II** on Map 1 are:

- (a) **apartment hotels**
- (b) **food primary establishment**
- (c) **hotels**
- (d) **liquor primary establishment**
- (e) **motels**
- (f) **retail liquor sales establishment**
- (g) **wineries and cideries**
- (h) reservation centres
- (i) **row housing** subject to 1.3g
- (j) **single detached housing** subject to 1.3g
- (k) **semi-detached housing** subject to 1.3g

**Secondary Uses:**

The **secondary uses** for the area designated as **Area II** on Map 1 are:

- (a) **amusement arcades major**
- (b) **health services**
- (c) **participant recreation services indoor**
- (d) **private clubs**
- (e) **private open space**
- (f) **residential security / operator unit**
- (g) **retail stores convenience**
- (h) **secondary suites in single detached housing** subject to 1.3g
- (i) **spectator and entertainment establishments** subject to 1.3i
- (j) **utility services minor impact**

**1.2 (c) AREA III Hillside Resort Accommodation****Principal Uses:**

The **principal uses** for the area designated as **Area III** on Map 1 are:

- (a) **apartment hotels**
- (b) **hotels**
- (c) **motels**
- (d) reservation centres
- (e) **row housing** subject to 1.3g
- (f) **single detached housing** subject to 1.3g
- (g) **semi-detached housing** subject to 1.3g

**Secondary Uses:**

The **secondary uses** for the area designated as **Area III** on Map 1 are:

- (a) **health services**
- (b) **private open space**
- (c) **residential security / operator unit**
- (d) **secondary suites** in **single detached housing** subject to 1.3g
- (e) **utility services minor impact**

**1.2(d) AREA IV Waterfront Resort Accommodations****Principal Uses:**

The **principal uses** for the area designated as **Area IV** on Map 1 are:

- (a) **apartment hotels**
- (b) **food primary establishment**
- (c) **hotels**
- (d) **liquor primary establishment**
- (e) marinas
- (f) marine equipment rentals
- (g) **motels**
- (h) **public park**
- (i) reservation centres
- (j) **row housing** subject to 1.3g
- (k) **single detached housing** subject to 1.3g
- (l) **semi-detached housing** subject to 1.3g

**Secondary Uses:**

The **secondary uses** for the area designated as **Area IV** on Map 1 are:

- (a) **boat storage**
- (b) **personal service establishments**
- (c) **private clubs**
- (d) **private open space**
- (e) **residential security / operator unit**
- (f) **retail liquor sales establishment**
- (g) **retail stores convenience**
- (h) **secondary suites** in **single detached housing** subject to 1.3g
- (i) **utility services minor impact**

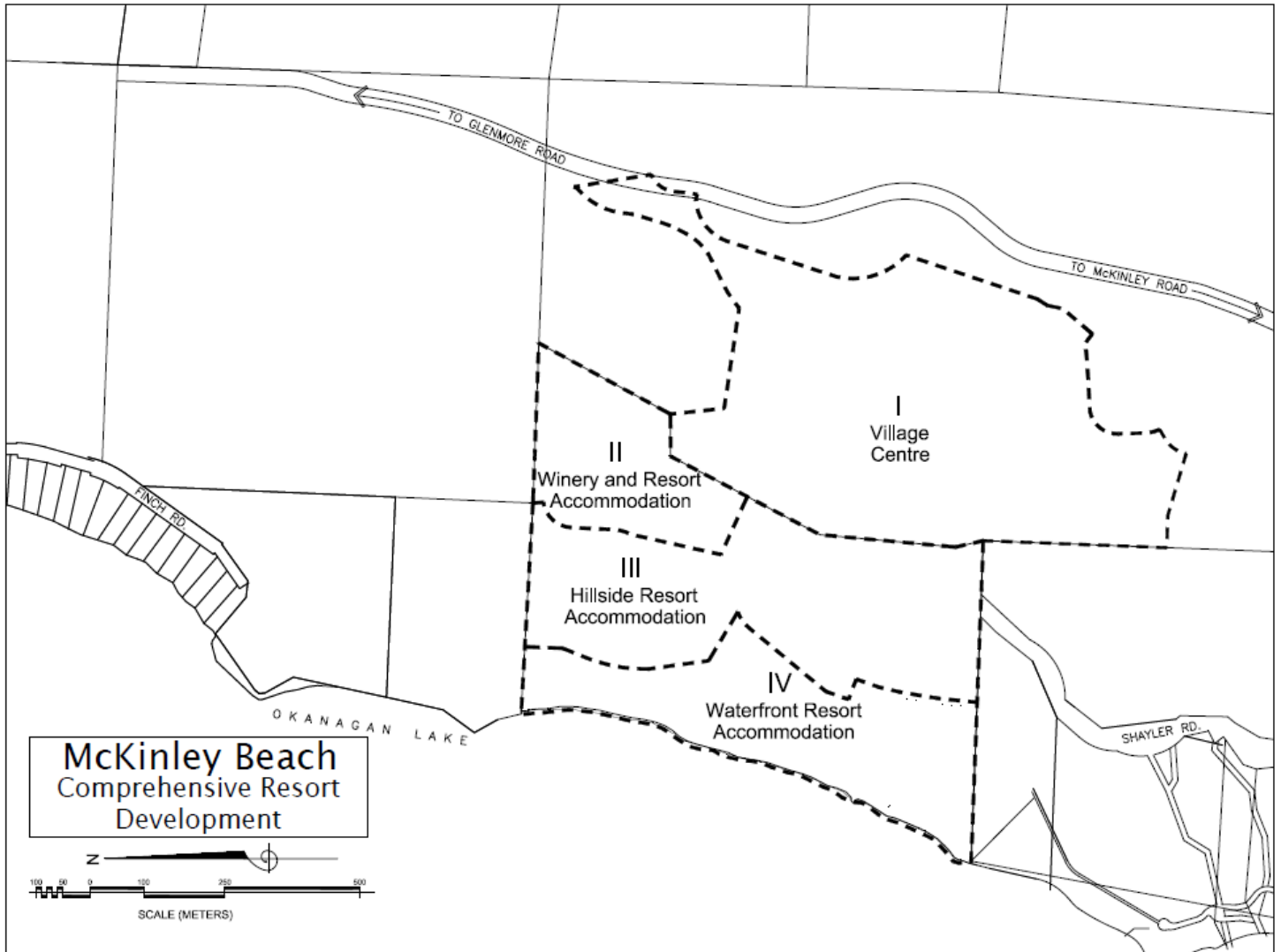
### 1.3 DEVELOPMENT REGULATIONS

- (a) Total density for the CD18 Zone shall not exceed 271,500m<sup>2</sup> in accordance with the Vintage Landing [McKinley Beach] Area Structure Plan adopted as part of the Kelowna Official Community Plan.
- (b) The maximum number of overall units for the CD18 Zone is 1300.
- (c) The maximum area of all commercial (retail and office) uses is 15,000m<sup>2</sup>.
- (d) The maximum allowable area of all office use is 5000m<sup>2</sup>. The maximum area of office space in any one building is 2000m<sup>2</sup> and the maximum size of any individual office tenancy shall not exceeding 500m<sup>2</sup>.
- (e) The maximum area for any one individual retail tenancy in Area I is 5500m<sup>2</sup>, in Areas II, III, IV the maximum area for any one tenancy is 400m<sup>2</sup>.
- (f) Density in the CD18 zone will be controlled in the form of a 219 covenant registered on the remainder parcel(s), which will indicate an allowable buildable area equal to the total site density of 271,500m<sup>2</sup> as outlined in section 1.3 (a) and which will be reduced by the:
1. buildable area approved through all Form & Character Development Permits within the CD18 Areas, and
  2. for those lots not requiring a form & character Development Permit it will be through the subdivision approval process based on a calculation of 350m<sup>2</sup> per unit (based on 1.3(g) Type B below). *For example: if there are 10 lots being approved and eight of those lots are for single detached housing and two of the lots are for semi-detached housing the calculation used to determine the buildable area would be  $12 \times 350m^2 = 4,200m^2$ .*
- The registered 219 Covenant will be amended, to reflect the remaining buildable area, as a condition of issuance of every Development Permit under 1.3(f)1 and as a condition of every subdivision approval under 1.3(f)2.
- (g) Resort accommodation which allows for short-term stays is made up of two types:
- Type A:
- Attached apartment hotel, hotel, congregate housing, motel units or row housing units (units in buildings exceeding 4 units with common amenities) – maximum area of 150m<sup>2</sup> per unit floor area net.
- Type B:
- Single detached housing with or without secondary suites, semi-detached housing, row housing with four units or less, with amenities that may be in separate buildings. The maximum gross floor area is 350m<sup>2</sup> per unit (excluding garages). The main floor footprint (excluding garage) may not exceed 175m<sup>2</sup> per unit (excluding garages). Type B units must be served by a common on-site or off-site reservation centre(s).
- (h) Broadcasting studios exclude facilities for permanent operation of radio and television stations and must be limited to television, movie and sound stage production.
- (i) Spectator and entertainment establishments exclude permanent stadiums, arenas, cineplex's and multiplexes.

- (j) Natural Environment/Hazardous Conditions
1. Impact to Environmentally Sensitive Areas designated as “High Value” or ESA 1 will be limited to infrastructure and utilities, where possible, and will strive to minimize impact to these areas. If development should occur within these areas, mitigation will promote no net loss to the habitat. If development is pursued in ESA 2 areas, portions of the habitat should be retained and integrated to maintain the contiguous nature of the landscape.
  2. Both ESA 1 and ESA 2 areas will require a Natural Environment/ Hazardous Condition Development Permit to address the specific habitat or conditions outlined in the ESA Assessment Report. Some loss to these ESA areas can be offset by habitat improvements to the remaining natural areas found within the ASP boundary.
  3. Any development that impacts slopes over 30% will require a Natural Environment/Hazardous Condition Development Permit. For any development to occur in these areas, it would have to be demonstrated that it will be sensitively integrated with the natural environment and will present no hazards to persons or property.
- (k) Building Height:
1. The maximum height of buildings and structures in this zone are as follows:
    - Area I - Village Centre is the lesser of 8½ storeys or 38.25m.
    - Area II - Winery and Resort Accommodation is the lesser of 6½ storeys or 29.5m.
    - Area III - Hillside Resort Accommodation is the lesser of 2 ½ storeys or 11.5m starting from deck elevation. Supportive deck structures cannot exceed 7.0m in height.
    - Area IV - Waterfront Resort Accommodation is the lesser of 6½ storeys or 29.5m.
  2. For any buildings or structures in area I that exceed 6½ storeys any exposed storey where parking is provided within the building must include 60% of the exposed area as habitable space.
  3. For any buildings or structures in areas II and IV that exceed 4½ storeys any exposed storey where parking is provided within the building must include 60% of the exposed area as habitable space.
4. Setbacks:
1. The minimum setback from the CD Zone boundary for all uses shall be 10m (33 ft.) with the exception of the CD Zone boundary that fronts Okanagan Lake riparian management area or any park areas where the setback will be 1.5m.
  2. The minimum **front yard** is 0.0m.
  3. The minimum **side yard** is 0.0m.
  4. The minimum **rear yard** is 0.0m.

5. Signs:
  1. Signs for Areas I and II shall be regulated as if in a C2 zone.
  2. Signs for Area III shall be regulated as if in a W-2 zone.
- (l) In accordance with the Official Community Plan (OCP), all development, except single-detached dwellings with or without secondary suites, within the zone shall require a Form and Character Development Permit.
- (m) The parking and loading regulations of Section 8 will apply.
- (n) A publicly accessible trail system will be provided by statutory right-of-way in favour of the City of Kelowna throughout the development property. Specific locations and right-of-way widths will be determined at time of Development Permit and in general accordance with the Vintage Landing Area Structure Plan
- (o) Road design will be as per the City of Kelowna's October 2009 Hillside Standards as may be amended.

CD18 -McKinley Beach Comprehensive Resort Development  
Map A



## Schedule 'B' – Comprehensive Development Zones

### CD20 – Comprehensive University Development Zone

#### 1.1 Purpose

The purpose of this zone is to allow the full range of academic, research and miscellaneous supporting land-uses essential to a leading-edge university program and campus.

#### 1.2 Principal Uses

The principal uses permitted in this zone are:

- (a) Education and research services, public or private
- (b) university institutional uses including but not limited to:
  - classrooms
  - research facilities
  - laboratories
  - lecture halls
  - performing arts facilities
  - assembly spaces
  - recreational facilities
  - office and administration space
  - university/research-related incubator businesses
  - agricultural/horticultural facilities
- (c) emergency and protective services
- (d) private clubs
- (e) community outreach services (including dental clinic, counseling services)
- (f) campus-related utility services
- (g) student residences
- (h) faculty/staff housing (specialized institutional housing for faculty and staff)

#### 1.3 Secondary Uses

The secondary uses permitted in this zone are:

- (a) public parks
- (b) campus support facilities including but not limited to:
  - i) parking facilities (including both motor vehicles and bicycles)
  - ii) plant operations buildings
  - iii) maintenance buildings
  - iv) daycare
  - v) university related business services, university-run and private leased operations
    - food and beverage services
    - personal service uses
    - convenience retail
    - bookstore
    - pub
    - conference activity (including use of empty student accommodation)
- (c) transit facilities

**1.4 Subdivision Regulations**

- (a) The minimum lot width is 18 m
- (b) The minimum lot depth is 30 m
- (c) The minimum lot area is 660 sq.m.

**1.5 Development Regulations:**

Density:

*Floor Area Ratio:* The total density for this project, based on entire campus site area, shall be maximum FAR of.....1.0

Site Coverage:

- (a) *Site coverage* all buildings shall be maximum 40% of entire campus land area.
  - (b) *Site coverage of combined* buildings, and paved areas excluding dedicated roads shall be maximum 60% of entire campus land area.
- Height:
- (c) *Height* of all structures shall be maximum 6 storeys or 27m , whichever less, except that area shown outlined in Map “A”, where height of structures shall be a maximum of 10 storeys or 45m, whichever is less.

Setbacks:

- (d) The minimum setbacks shall be:
  - 30m from all external campus borders, except in the following limited areas it shall be 6m:
    - the east campus border between University Way and the north lot line.
    - the north west campus border area cut off by a Quail Ridge road crossing.
  - 0m setback shall be permitted on internal campus lot lines.
  - 6m frontage shall be provided along any arterial road.

**Selected Ancillary and Dormitory Floor Area Limits:**

- (e) *Food and beverage* total net floor space shall be maximum.....3000 net sq.m.
- (f) *Bookstore and Pub* total net floor space shall be maximum.....3000 net sq.m.
- (g) *Ancillary Commercial* (excluding daycare, pub, food & beverage s.....3000 net sq.m.
- (h) *Student residential beds* shall be limited to .....2500 beds  
and .....50,000 sq.m net floor space
- (i) *Performing arts* total net floor area shall be limited  
to.....6000 sq.m.
- (j) *Daycare* total net floor area shall be limited to ..... 1500 sq.m.

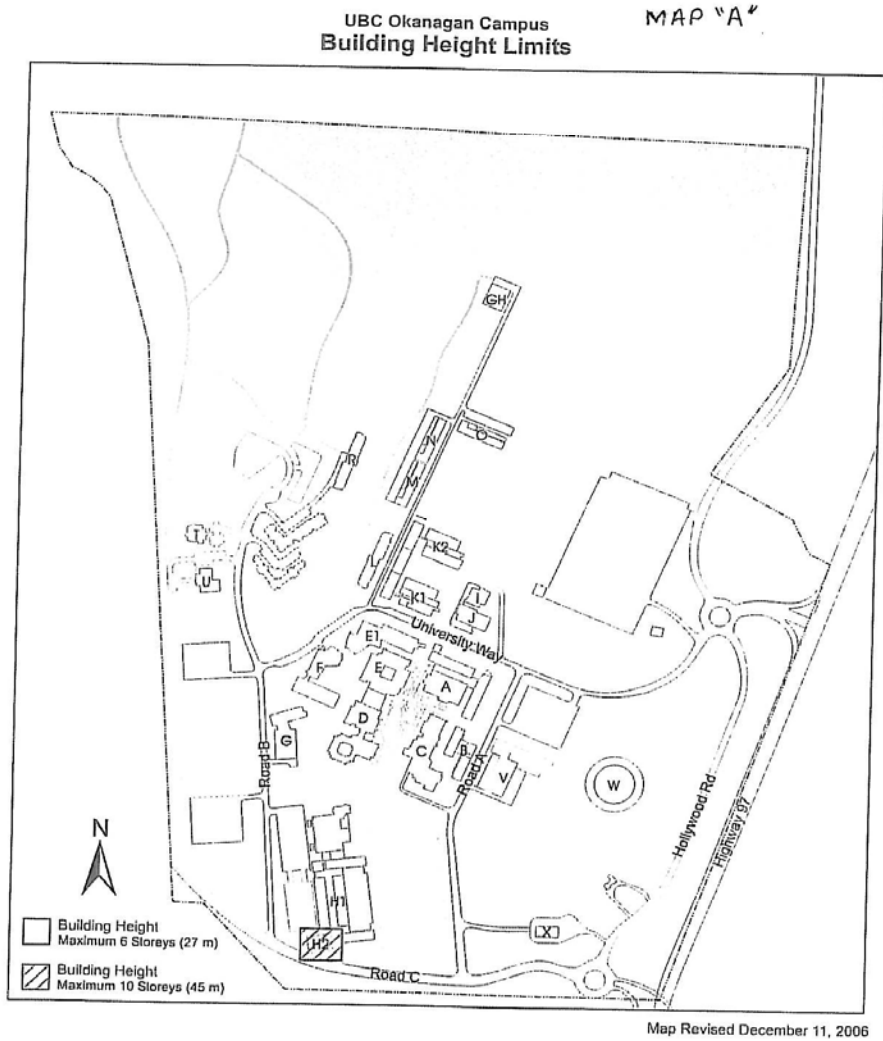
**1.6 Road Layout**

Road layout for the campus lands shall generally be as shown on Map “B”.

**1.7 Other Regulations**

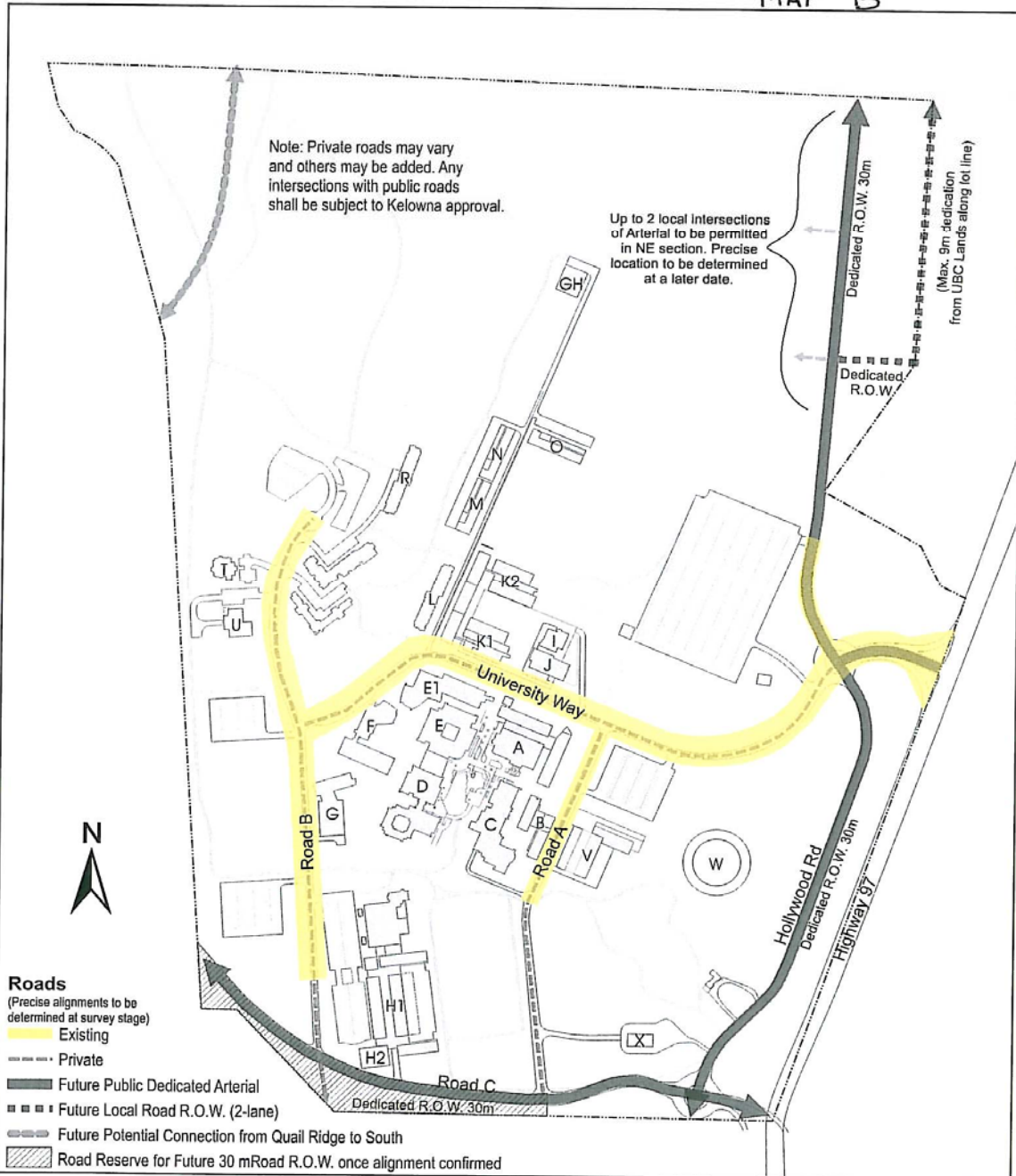
In addition to the regulations listed above, the following regulations of Kelowna Zoning Bylaw 8000 shall apply:

- General development regulations of Section 6 except Section 6.1, 6.3, 6.11 and 6.14.
- Landscaping and fencing provisions of Section 7,
- Parking and loading regulations of Section 8



UBC Okanagan Campus  
Road Layout

MAP B



Map Revised February 5, 2007

## Schedule 'B' – Comprehensive Development Zones

### CD22 – Central Green Comprehensive Development Zone

#### 1.1 Purpose

The purpose of this Central Green Comprehensive Development Zone is to provide for the integrated design of a comprehensive development of the Central Green Lands as a low environmental impact mixed use development.

#### 1.2 Central Green Lands

The Central Green Lands consist of nine Sub-Areas A through I inclusive ("CD22 Sub-Areas") as shown on Plan CG-1.

#### 1.3 Regulations

In the CD22 Central Green Comprehensive Development Zone, regulations may be different for different CD22 Sub-Areas as set out in the CD22 Sub-Area Zoning as show on Schedules 7 through 12.

#### 1.4 Central Green General Regulations

- (a) **Section 6 – General Development Regulations** of this bylaw applies;
- (b) **Section 7 – Landscaping and Screening** of this applies;
- (c) **Section 9 – Specific Use Regulations** of this bylaw does not apply with the exceptions for:
  - Sub-Section **9.2 – Home Based Businesses, Minor**;
  - Sub-Section **9.3 – Home Based Businesses, Major**; and
  - Sub-Section **9.10 – Agriculture, Urban**

#### 1.5 Parking and Loading

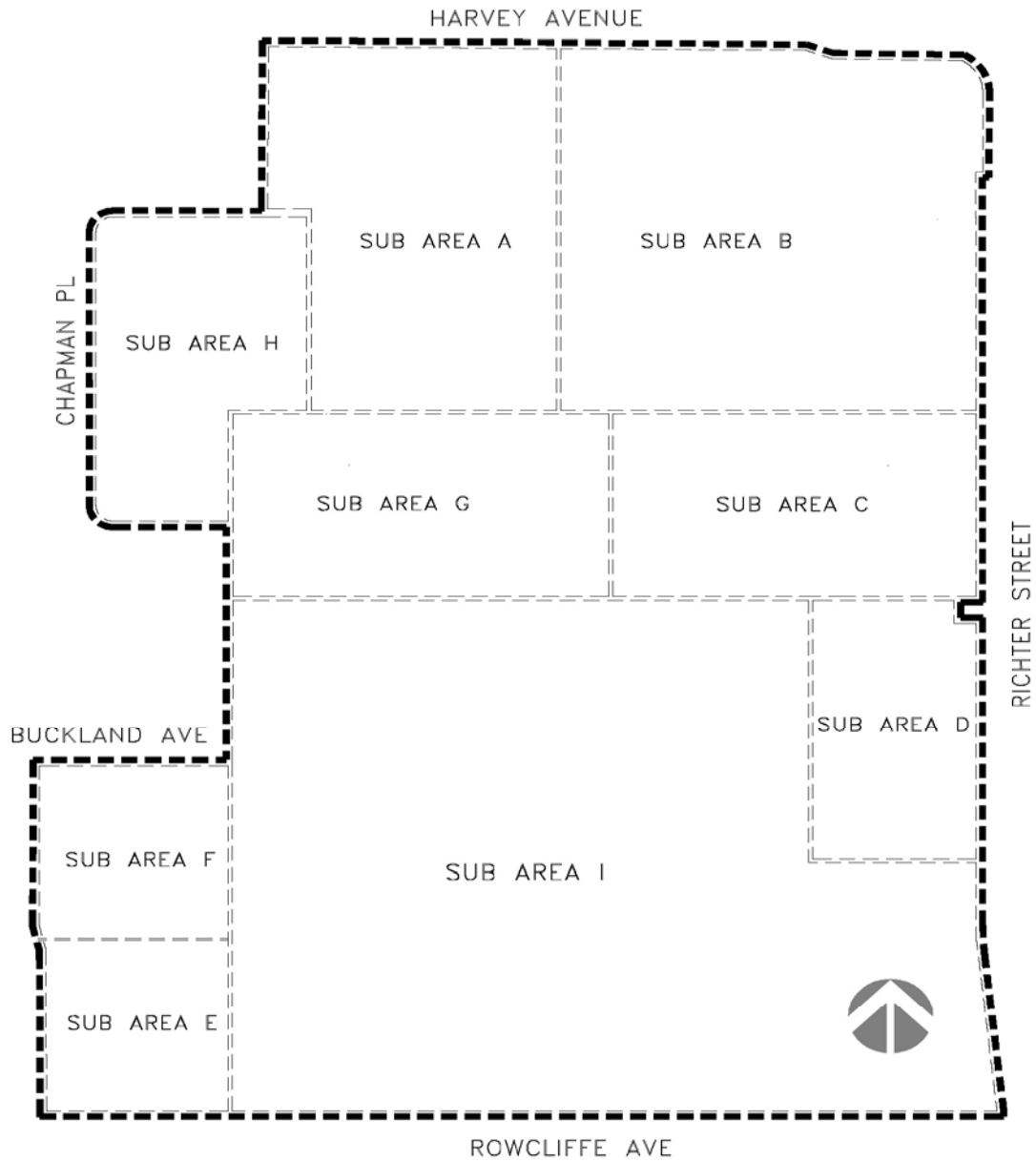
- 1.5.1 Loading facilities shall be designed in accordance with the loading regulations of **Section 8 – Parking and Loading** of this bylaw.
- 1.5.2 Bicycle parking shall be provided in accordance with the bicycle parking regulations of **Section 8 – Parking and Loading** of this bylaw.
- 1.5.3 Parking spaces shall be designed in accordance with the parking regulations of **Section 8 – Parking and Loading** of this bylaw, with the exception that the minimum number of parking spaces required must be in accordance with **Table 1** of this CD22 Central Green Zone:

**Table 1 - Parking**

<b>Use</b>	<b>Minimum Parking Space Requirement</b>
Commercial	1.0 spaces per 100 m <sup>2</sup> <b>Net Floor Area</b>
Residential, except Supportive Housing	1.0 spaces per dwelling unit / 2 bedroom apartment 0.9 spaces per dwelling unit / 1 bedroom apartment 0.75 spaces per dwelling unit / Studio apartment
Supportive Housing	1.0 space per every three beds

- 1.5.3 With the exception of Sub-area H & I, all off street parking spaces must be screened from view and wholly contained under building and amenity areas.
- 1.5.4 The maximum number of parking spaces for each use class in Table 1 must not exceed 125% of the minimum parking space requirement.

PLAN CG-1



**SCHEDULE 7 - CD22 Sub-Areas A & B Zoning****7.1 Permitted Uses**

The following uses of land, buildings and structures are permitted in Sub-areas A & B and all others are prohibited:

**7.2 Principal Uses**

The **principal uses** in this **zone** are:

- (a) **apartment housing**
- (b) **multiple dwelling housing**
- (c) **congregate housing**
- (d) **supportive housing**
- (e) **apartment hotels**

**7.3 Secondary Uses**

The **secondary uses** in this **zone** are:

- (a) **animal clinics, minor**
- (b) **business support services**
- (c) **child care centre, major**
- (d) **commercial schools**
- (e) **custom indoor manufacturing**
- (f) **financial services**
- (g) **food primary establishment**
- (h) **liquor primary establishment, minor**
- (i) **group homes, major**
- (j) **health services**
- (k) **offices**
- (l) **participant recreation services, indoor**
- (m) **personal service establishments**
- (n) **private clubs**
- (o) **public libraries and cultural exhibits**
- (p) **religious assemblies**
- (q) **retail stores, convenience**
- (r) **retail stores, general**
- (s) **spectator entertainment establishments**
- (t) **used goods stores**
- (u) **utility services, minor impact**

**7.5 Parcel Size**

The maximum number of **lots** to be created from these Sub-Areas A and B is four.

**7.6 Density**

(a) The maximum permitted FAR in Sub-Area AB shall be 4.0.

**7.7 Height**

The maximum **height** of buildings located within Sub-Area A and B shall not exceed 72m.

**7.8 Site Coverage**

A maximum of 50%. Parking structures above finished grade and surfaced with landscaping or useable open space shall not be included in the calculation of site coverage.

**7.9 Setbacks**

(a) The minimum setback along Harvey Avenue is 0.0m.

(b) The minimum setback along Richter Avenue is 0.0m.

(c) The minimum side yard setback where not fronting Richter is 3.0m.

(d) The minimum rear yard setback, excluding the parking structure is 3.0m.

(e) The parking structures must have a 0.0m rear yard setback and must be coordinated with the parking structure of Sub-Areas C and G to ensure a contiguous public open space is created above the parking structures.

**7.10 Private Open Space**

A minimum area of 7.0m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling, congregate housing bedroom or group home bedroom**, 12.0m<sup>2</sup> of **private open space** shall be provided per 1 **bedroom dwelling**, and 18.0m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 **bedroom**.

- 7.11 The CD22 Central Green Comprehensive Development Zone has been designated as a Development Permit Area by “Kelowna 2020 – Official Community Plan Bylaw No. 7600” for the purpose of guiding the form and character of development. The guidelines applicable to the CD22 Central Green Comprehensive Development Zone are annexed to this Bylaw as Annexure “1” and entitled “CD22 Central Green Development Permit Area Guidelines”.

**SCHEDULE 8 - CD22 Sub-Areas C & G Zoning****8.1 Permitted Uses**

The following uses of land, buildings and structures are permitted in Sub-areas C and G and all others are prohibited:

**Principal Uses**

The **principal uses** in this zone are:

- (a) **multiple dwelling housing**
- (b) **congregate housing**
- (c) **group home, major**
- (d) **boarding and lodging houses**
- (e) **supportive housing**

**Secondary Uses**

The **secondary uses** in this zone are:

- (a) **child care centre, major**
- (b) **home based businesses, minor**
- (c) **community recreation services**

**8.2 Parcel Size**

The maximum number of lots to be created from the combined Sub-Areas C and G is two and if created, such parcels shall have the area, size and shape of CD22 Central Green Sub-Areas C and G, all as shown on Plan CG-1.

**8.3 Density**

- (a) The maximum permitted FAR in Sub-Area C shall be 2.0.
- (b) The maximum permitted FAR in Sub-Area G shall be 2.0.

#### 8.4 Height

The maximum permitted height for any building in Sub-Areas C and G shall be the lesser of 16.5 m or 4 **storeys**.

#### 8.5 Site Coverage

A maximum of 50%. Parking structures above finished grade and surfaced with landscaping or useable open space shall not be included in the calculation of site coverage.

#### 8.6 Setbacks

- (a) The minimum **front** and **back yard** setbacks, excluding the parking structure, shall be 3.0m.
- (b) The minimum **rear yard** setback, excluding the parking structure, shall be 7.0m.
- (c) The parking structure must have a 0.0m **rear yard** setback and must be coordinated with the parking structure of Sub-Areas A and B to ensure a contiguous public open space is created above the parking structures.

#### 8.7 Private Open Space

A minimum area of 7.0m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling, congregate housing bedroom or group home bedroom**, 12.0m<sup>2</sup> of **private open space** shall be provided per 1 **bedroom dwelling**, and 18.0m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 **bedroom**.

- 8.8 The CD22 Central Green Comprehensive Development Zone has been designated as a Development Permit Area by “Kelowna 2020 – Official Community Plan Bylaw No. 7600” for the purpose of guiding the form and character of development. The guidelines applicable to the CD22 Central Green Comprehensive Development Zone are annexed to this Bylaw as Annexure “1” and entitled “CD22 Central Green Development Permit Area Guidelines”.

**SCHEDULE 9 - CD22 Sub-Area D Zoning****9.1 Permitted Uses**

The following uses of land, buildings and structures are permitted in Sub-area D and all others are prohibited:

**Principal Uses**

The **principal uses** in this **zone** are:

- (a) **multiple dwelling housing**
- (b) **congregate housing**
- (c) **group home, major**
- (d) **boarding and lodging houses**
- (e) **supportive housing**

**Secondary Uses**

The **secondary uses** in this zone are:

- (a) **child care centre, major**
- (b) **home based businesses, minor**
- (c) **community recreation services**

**9.2 Parcel Size**

The area, size, and shape of a parcel created in this Sub-Area D must be the area, the size, and shape of Sub-Area D as shown on Plan CG-1.

**9.3 Density**

The maximum permitted FAR in Sub-Area D shall be FAR 2.0.

**9.4 Height**

The maximum permitted **height** for any building in CD22 Central Green Sub-Area D shall be the lesser of 16.5m or 4 **storeys**.

9.5 **Site Coverage**

A maximum of 50%

9.6 **Setbacks**

The minimum **front, rear** and **side yard** setbacks shall be 3.0m.

9.7 **Private Open Space**

A minimum area of 7.0m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling, congregate housing bedroom** or **group home bedroom**, 12.0m<sup>2</sup> of **private open space** shall be provided per 1 **bedroom dwelling**, and 18.0m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 **bedroom**.

9.8 The CD22 Central Green Comprehensive Development Zone has been designated as a Development Permit Area by “Kelowna 2020 – Official Community Plan Bylaw No. 7600” for the purpose of guiding the form and character of development. The guidelines applicable to the CD22 Central Green Comprehensive Development Zone are annexed to this Bylaw as Annexure “1” and entitled “CD22 Central Green Development Permit Area Guidelines”.

**SCHEDULE 10 - CD22 Sub-Areas E & F Zoning****10.1 Permitted Uses**

The following uses of land, buildings and structures are permitted in Sub-areas E & F and all others are prohibited:

**Principal Uses**

The **principal uses** in this zone are:

- (a) **multiple dwelling housing**
- (b) **congregate housing**
- (c) **group home, major**
- (d) **boarding and lodging houses**
- (e) **supportive housing**

**Secondary Uses**

The **secondary uses** in this zone are:

- (a) **child care centre, major**
- (b) **home based businesses, minor**
- (c) **community recreation services**

The uses set out above are permitted, provided that:

- (a) off-street vehicular parking and off-street loading must only be sited and located below grade at street level.

**10.2 Parcel Size**

The maximum number of lots to be created from the combined Sub-Areas E and F is two and if created, such parcels shall have the area, size and shape of the CD22 Central Green Sub-Areas E and F, as shown on Plan CG-1.

**10.3 Density**

If the lands in Sub-Areas E and F are subdivided into two parcels, then the maximum permitted density on each parcel be the lesser of **Gross Floor Area** 2250m<sup>2</sup> or FAR 1.0; however, if the lands in Sub-Areas E and F are not subdivided to create two parcels and constitute a single parcel, then the maximum permitted density shall be the lesser of **Gross Floor Area** 4500m<sup>2</sup> or a FAR of 1.0.

**10.4 Height**

The maximum permitted height for any building in CD22 Central Green Sub-Areas E and F shall be the lesser of 12.0 m or 3 storeys.

**10.5 Site Coverage**

A maximum of 40%

**10.6 Setbacks**

The minimum **front**, **rear** and **side yard** setbacks shall be 3.0m.

**10.7 Private Open Space**

A minimum area of 7.0m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling, congregate housing bedroom or group home bedroom**, 12.0m<sup>2</sup> of **private open space** shall be provided per 1 **bedroom dwelling**, and 18. m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 **bedroom**.

**10.8** The CD22 Central Green Comprehensive Development Zone has been designated as a Development Permit Area by “Kelowna 2020 – Official Community Plan Bylaw No. 7600” for the purposes of guiding the form and character of development.. The guidelines applicable to the CD22 Central Green Comprehensive Development Zone are annexed to this Bylaw as Annexure “1” and entitled “CD22 Central Green Development Permit Area Guidelines”.

**SCHEDULE 11 - CD22 Sub-Area H Zoning****11.1 Permitted Uses**

The following uses of land, buildings and structures are permitted in Sub-area H and all others are prohibited:

**Principal Uses**

The **principal uses** in this zone are:

- (a) **multiple dwelling housing**
- (b) **congregate housing**
- (c) **group home, major**
- (d) **boarding and lodging houses**
- (e) **supportive housing**

**Secondary Uses**

The **secondary uses** in this zone are:

- (a) **child care centre, major**
- (b) **home based businesses, minor**
- (c) **community recreation services**

**11.2 Parcel Size**

The area, size, shape and dimensions of any parcel created from Sub-Area H must be the area, size shape and dimensions of Sub-Area H as shown on Plan CG-1.

**11.3 Density**

The permitted density in this Sub-Area H must not exceed the lesser of **Gross Floor Area** of 6,000 m<sup>2</sup> or FAR of 1.7.

**11.4 Height**

The maximum permitted **height** for any building in Sub-Area H shall be the lesser of 16.5m or 4 **storeys**.

**11.5 Site Coverage**

A maximum of 50%

**11.6 Setbacks**

The minimum **front, rear** and side **yard** setbacks shall be 3.0m.

### 11.7 Private Open Space

A minimum area of 7.0m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling, congregate housing bedroom or group home bedroom**, 12.0m<sup>2</sup> of **private open space** shall be provided per 1 **bedroom dwelling**, and 18.0m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 **bedroom**.

- 11.8 The CD22 Central Green Comprehensive Development Zone has been designated as a Development Permit Area by “Kelowna 2020 – Official Community Plan Bylaw No. 7600” for the purpose of guiding the form and character of development. The guidelines applicable to the CD22 Central Green Comprehensive Development Zone are annexed to this Bylaw as Annexure “1” and entitled “CD22 Central Green Development Permit Area Guidelines”.

**SCHEDULE 12 - CD22 Sub-Area I Zoning****12.1 Permitted Uses**

The following uses of land, buildings and structures are permitted in Sub-area I and all others are prohibited:

**12.2 Principal Uses**

The **principal uses** in this **zone** are:

- (a) **agriculture, urban**
- (b) **participant recreation services, outdoor**
- (c) **public parks**

**Secondary Uses**

The **secondary uses** in this **zone** are:

- (a) **child care centre, major**
- (b) **community recreation services**
- (c) **food primary establishment**
- (d) **liquor primary establishment, minor**
- (e) **participant recreation services, indoor**
- (f) **residential security/operator units**
- (g) **retail stores, convenience**
- (h) **utility services, minor impact**

**12.3 Parcel Size**

The area, size, shape and dimensions of any parcel created from Sub-Area I, must be the area, size, shape and dimensions of Sub-Area I as shown on Plan CG-1.

**12.4 Development Regulations**

- (a) The maximum **floor area ratio** is 0.1.
- (b) The maximum **height** is 10.0 m.
- (c) The minimum **front yard** is 6.0 m.
- (d) The minimum **side yard** is 3.0 m, except it is 4.5 m from a **flanking street** or a residential or agricultural **zone**.
- (e) The minimum **rear yard** is 3.0 m, except it is 4.5 m from a **flanking street** or a residential or **zone**.

- 12.5 The Central Green Lands as identified and delineated on Plan CG-1 are hereby rezoned from P-2 - Education and Housing Institution or C-4 Town Centre Commercial, as the case may be, to CD22 Central Green Comprehensive Development Zone.
- 12.6 The Zoning Map is hereby amended to show the Central Green Lands zoned CD22 Central Green Comprehensive Development Zone, to identify each of the Sub-Areas as shown and delineated on Plan CG-1, and to make all consequential amendments to the legal notations, markings and colouring on the Zoning Map necessary to effect the purposes of this CD22 Central Green Comprehensive Zone.

ANNEXURE 1 – CD22 – Central Green Development Permit Area Guidelines

# Central Green Development Permit Area Guidelines

## Central Green Comprehensive Development Zone



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## 1.0 Vision Statement

Central Green will be an inviting and sustainable neighbourhood extending over a five-hectare site located adjacent to Kelowna's Downtown. Two hectares of park space will be surrounded by three hectares of residential housing (including affordable units), neighbourhood-focused retail and public amenities. The site's residential building forms will help define the southern edge of Downtown while complementing the adjoining low-density neighbourhood. Through traffic calming and the integration of inter-connecting pathways, the area will be highly pedestrian-oriented. Central Green will be a model development that demonstrates reduced vehicle dependency by creating an inviting pedestrian development, adjacent to rapid transit, promoting vehicle sharing programs, designing the site so as to minimize travel requirements, and creating a compact community through densification. The resulting site surface will be contiguous and free of bisecting public roadways, with limited vehicular impediments allowing for and promoting a pedestrian oriented lifestyle. The design concept inherently discourages vehicle use.

Although various developers may participate, development controls and incentives will ensure harmonious realization of the development concept, which has a strong focus on environmental, economic and social sustainability. Central Green will be a place where a sense of community thrives and pride in the neighbourhood is evident.

### 1.1 *Using the Design Guidelines*

These Design Guidelines are part of a series of over-arching regulations that when combined, will shape future development of Central Green. The Design Guidelines specifically, are intended to influence the form and character of buildings and open spaces within the boundary of the Comprehensive Development 22 Area as outlined in Plan CG-1. As well as, assisting each development permit applicant, they will be used by staff in the evaluation of development proposals.

The Design Guidelines are additionally intended to help give direction to detailed design to ensure that each sub-area is compatible with the overall urban design concept. The particular set of building and open space outlines that are illustrated in these guidelines are therefore not necessarily intended to be the final form of development, but rather represent a 'conforming outline' as a tangible starting point for detailed design to build upon.

### 1.2 *Guiding Principles*

The guiding principles are themes that were emphasized by the City of Kelowna Council, stakeholders, the public, and the consultant team throughout the visioning process. They will continue to guide the realization of the project.

### 1.2.1 Urban Design

The design of the neighbourhood should focus on creating a pedestrian-oriented neighbourhood with a strong sense of place that fosters social interaction and a cohesive community. Building and open space design should convey human scale, address physical comfort and safety, and complement the surrounding community and existing building stock.

### 1.2.2 Rowcliffe Community Park

Two hectares (five acres) of public open space will be retained in the Central Green design concept for community park purposes.

The defining feature of the design is a common area enclosed by a pedestrian pathway. The park plan also includes several focal points. One focal point is located at the corner of Richter and Rowcliffe Avenues where an entry plaza incorporates the site's two heritage trees and one of two multi-use courts. The entry plaza terminates a visual axis running across the common to a playground in the north-west corner of the park.

The park may also include community gardens and an open air stage for outdoor events. The green common area is designed primarily for passive use, but will be able to accommodate programmable sport fields. In addition to the path encircling the commons, other pedestrian pathways will be located strategically within the park to facilitate movement through the site and to help give definition to a hierarchy of public and private outdoor spaces.

The park's design will be undertaken by the City of Kelowna. Key considerations for the park design will include references to the historical use of the site and the adjoining neighbourhood character, as well as safety considerations through the incorporation of Crime Prevention Through Environmental Design (CPTED) principles.



### 1.2.3 Regional Expression

It is intended that the subject area convey a strong sense of authenticity, meaning that the form and character of buildings and spaces convey a sense of that which is distinctive to Kelowna and the Central Okanagan. The character of buildings and public spaces within the subject area should celebrate that which is unique and distinctive about the Okanagan Valley by drawing inspiration from the region's natural and cultural landscapes.

Consideration should therefore be given to the following:

a) Buildings that appear to 'grow' out of the earth or landscape and that express a sense of weight without appearing excessively bulky. To this end, building facades should be designed as 'walls with windows' not 'window-walls', and exterior elevations should have a solid/opening ratio of not less than 50%, calculated over the sum of all exterior building faces;

b) Buildings that emphasize shade from summer sun. Overhangs and recesses of sufficient depth are appropriate. Responses to solar exposure that result in elevations that are distinct from one another, particularly on the tower portions of buildings, are essential;

c) Provision of generous private outdoor spaces, including rooftops and balconies, to allow residents to capitalize on the favourable Okanagan weather;

d) Techniques and treatments that emphasize the transition between inside and outside through the differing seasons. These might include retractable windows and overhead rolling doors, as well as canopies, trellises, and extended building planes;

e) Use of drought tolerant plants that evoke the arid landscape of the Central Okanagan;

f) Inclusion of public art, in a wide range of formats, even within the confines of private spaces that are not readily accessed by the public, as a prime means of regional expression.



### 1.2.4 Crime Prevention Through Environmental Design (CPTED)

Beyond the provision of sufficient density to help insure enough “eyes and ears” on the street, established CPTED techniques should be implemented to achieve the goal of safe urban spaces. All development should be consistent with the *City of Kelowna “Crime Prevention Through Environmental Design Guidelines”* which is available on the city website-kelowna.ca

## 2.0 General Guidelines

### 2.1 Building Siting

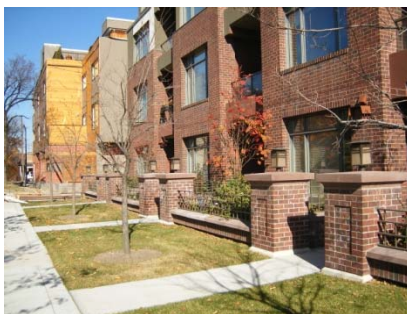
a) Generally, buildings should be sited as indicated in Plan CG-1 and Plan Central Green Design Guidelines.



b) Buildings should be designed with sensitivity to future development on adjacent properties and to adjoining outdoor spaces.

### 2.2 Human Scale

a) All elevations should demonstrate a high degree of human scale. This can be achieved principally by giving emphasis to doors and windows and other signs of human habitation relative to walls and building structure. It can also be achieved through appropriate choice of materials and detailing of surfaces that provide rich visual interest, as well as through appropriate massing of building form and provision of hard and soft landscaping;



Extended areas void of visual interest and references by which to gauge human scale, i.e. blank walls, are strongly discouraged, including party walls exposed to public view as a result of the phased build out of a sub-area;

b) Portions of building facades enclosing stairwells should incorporate windows that provide human scale and that reduce the visual bulk of such stairwells. Building facades enclosing elevator shafts should be architecturally treated to reduce their visual mass;

c) Treatments that result in flat walls are discouraged. Facades should be articulated with the aim of creating shadows through indentations and projections of elements within a façade composition, e.g., windows and doors, cornice lines, pilasters, balconies, and/or bas-relief detailing.

### 2.3 Proportions



a) Building facades should have a balance of vertical and horizontal proportions. Particularly in the podium portion of the buildings, vertical accents should occur on a regular basis to reinforce a pedestrian-scaled rhythm. Vertical proportions are preferred for windows. Any horizontally-extended glazed areas should be subdivided into vertically proportioned windows separated by mullions or building structure;

b) Portions of buildings at corner locations or at inflections or terminations of vistas should be designed to induce pedestrians to explore the continuum of urban and park walkways.



### 2.4 Entrances

a) Entrances should be easy to identify from the street or any adjoining public open space. Entrances should also present an inviting face to those views, as well as make the act of entering any premises a comfortable and welcoming experience through attention to details, proportions, materials, and lighting;



b) Transition spaces at entrances, between inside and outside, and between the public and private realms are encouraged. These spaces can be created by recessing entrances within the wall plane, through provision of canopies and other techniques to create enclosure, and through changes in grade;

c) Entrances should provide visual interest and visual cues that communicate a sense of friendliness including opportunities for seasonal landscaping, such as trellises, arbours, and other elements that personalize, define, or lend identity to an entrance as well as promote social interaction.



## 2.5 Exterior Building Materials

a) A variety of exterior materials is appropriate. Materials should be natural, relate to the character of the region (see Regional Expression 1.2.6), be durable and be appropriate to the character of Central Green Preferred materials include:



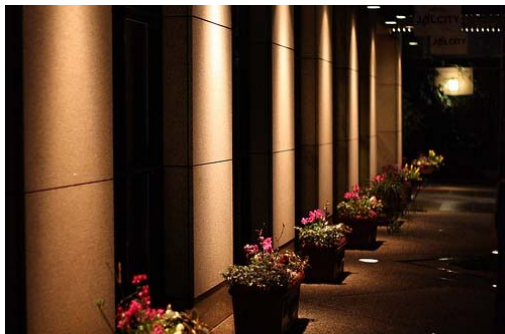
- Concrete (appropriately detailed)
- Wood including timber
- Stone
- Brick
  - Metal
  - Glass

b) Materials that should not be used:

- Vinyl
- Highly-reflective or non-vision glass

## 2.6 Lighting

a) All exterior lighting should follow the International Dark Sky Model code in order to limit light pollution and to conserve energy. Lighting should not contribute to glare. This objective should be accomplished through use of full cut-off or low-wattage luminaries. Designs should also incorporate shielded fixtures and/or appropriate mounting heights, as well as be aimed appropriately;



b) Lighting should be designed for high-quality environmental performance, and promote public safety. (see 1.2.6). In particular, lighting should help to clearly identify principal building entrances. Illumination levels should instill high levels of “psychological comfort” for persons using each entrance;

c) Light fixtures, if exposed to views from streets, should add daytime visual interest and human scale to a building, as well as help accentuate the rhythm of the building facade. Illumination should be planned as a key element in a facade's design with consideration for the effect on the facade, and on adjoining buildings and open spaces.

## 2.7 Rooftops and Balconies

a) Upper levels of buildings should incorporate decks, balconies, or other building features as outdoor amenity space for occupants;

b) Elements such as gazebos, trellises, and pergolas and other forms of hard and soft landscaping, including opportunities for vegetable gardening, should be provided to enhance the visual interest and the usability of rooftop spaces, and should be attractive when viewed from above;

c) Vents, mechanical rooms, mechanical equipment, and elevator penthouses should be integrated with the architectural treatment of the roof, or be screened with materials and finishes compatible with the building's design;

d) Rooftops designed as active outdoor open spaces are encouraged, and should be designed to withstand the weight of mature trees and plantings. They should be designed to reduce energy use and are encouraged to incorporate green technologies. Large, flat expanses of roof, whether actively used or not, should be enhanced with texture, colour, and/or landscaping especially where visible from habitable spaces above.



## 2.8 Screening

a) All passive occupancies, i.e., parking, mechanical/utility rooms, storage areas, and stairwells at or above grade, should be screened behind active occupancies. Parking areas in particular that are visible from any street, or from any interior or exterior residential or commercial space are not recommended.

b) Garbage and recycling facilities should be located away from public streets and screened from view. The materials used for such purposes should be common to the building's exterior finishes. Service areas, the vehicular paths of access to these areas, and all parking associated with or connected to these areas should be hard-surfaced.

c) All mechanical equipment and utility services open to view from a public street should be screened in a manner consistent with the visual characteristics of the building.

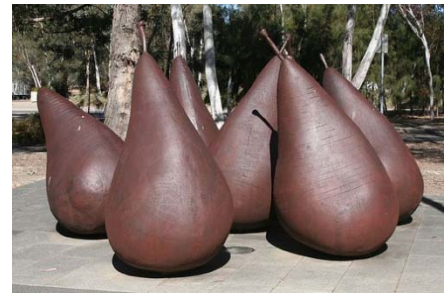
2.9 Public and Private Open Space



a) The design of open space should:

- promote social interaction;
- be oriented to take advantage of sunlight;
- provide shade and protection from wind and other climatic elements.

b) The design of public and private courtyards and landscaped areas. These areas should be a combination of soft and hard landscaping. Plant material should be predominantly indigenous and adaptive species and should provide seasonal interest. Trees should be large enough at maturity to help create a park-like setting, especially along roadside boulevards;



c) Public art should be located in strategic locations to create a better visual environment and provide interactive and interpretive experiences for both children and adults;



d) Pathways, open spaces and enclosed or sheltered public spaces should be flexible and accommodate a number of activities, whether programmed or spontaneous;

e) In private development, where courtyards, plazas, and/or patios occur, they should provide spatial continuity between the inside and outside of the building and where applicable, between the public and private realms;

and/or patios occur, they should provide spatial continuity between the inside and outside of the building and where applicable, between the public and private realms;





f) The amount of storm water run-off entering storm sewers should be minimized through appropriate site design. Permeable pavers and bio-swales should be considered;

g) Fences should provide visual interest and pedestrian scale. Fences through which views are not possible, should not be greater than 1.2m high and should be accentuated by a vertical element, e.g., piers, at not less than every 4.5m.;



h) Any retaining walls or exposed parking structures should provide visual interest and pedestrian scale. Retaining walls should not be greater than 1.2m in height and should be accentuated by a vertical element, e.g., piers, at not less than every 4.5m. Retaining walls made from local stone or rocks are preferred. Modular concrete products are acceptable. Poured-in-place concrete is discouraged. Where such concrete is used, it should be complemented with appropriate landscaping and/or architecturally treated with a decorative pattern; retaining wall materials should discourage graffiti eg: treated with an anti-graffiti finish;



i) The use of shrubs or coniferous columnar trees that grow to mature heights of greater than 1.2 m, and prevent views from the street or between properties, is discouraged. The use of a variety of planting materials varying in heights and shapes is encouraged, and should be chosen for their ability to be pruned regularly to maintain sightlines;

j) Opportunity for crime and nuisance activities should be reduced by adhering to CPTED principles. (see 1.2.6)

2.10 Connections

a) Design of open space should ensure continuity of pedestrian and cycling movement through the site as well as a complementary visual and spatial continuum of outdoor spaces;



b) Visual linkages to defining elements such as public art installations, water features, and other natural and man-made landmarks that help orient the pedestrian should be incorporated into the design of the site;

c) Provision of a safe, inviting series of interconnected spaces is encouraged; linkages to adjacent neighbourhoods for pedestrians, bicycles and vehicular traffic are encouraged;



d) Pathway systems should be accessible to all users (see 1.2.4 Universal Design);



e) Pedestrian connections across Harvey Avenue should provide a safe, physically-comfortable, and aesthetically-pleasing access across the roadway. It is anticipated that one of these connections may be a pedestrian bridge over Harvey Avenue, landing on a development site on the north side of the road.

2.11 Vehicular-Related Considerations

a) Parking access points should be restricted to those locations identified in Plan CG-1.



b) Parking may be located up to the third storey within Building A & B subject to being appropriately screened (see Section 2.8 Screening and Section 3.1.2). Parking uses should not be located at or above grade within any other building;

c) Taxi drop off locations should be provided for each Sub-Area, they should be treated so that pedestrians and vehicles have equal status.

Rather than a utilitarian asphalt treatment, the surface should offer visual interest, i.e. stamped concrete, concrete pavers, etc., such that the space takes on more of an entry plaza quality. Curbs can be eliminated and bollards can separate vehicle and pedestrian movement as necessary;

d) Exits from parking structures should allow for a high level of visibility of approaching pedestrians;

e) Garage doors and vehicle access points should not terminate axial views, i.e., views down streets within the vicinity of the site. Where such axial views are terminated, design consideration should be given to mitigating the visual impact of such views and to otherwise provide a high degree of human scale and visual interest. Doors and entrances to parking garages should not be visually obtrusive and should not be more visually prominent than any principal entrance to the building;



f) Garage entrances should be architecturally integrated into the overall building design with street-level exterior building finishes wrapping into the garage opening for a minimum of 3m in depth. Doors to parking garages should have an architectural treatment that is primarily expressed as an opaque or semi-opaque door rather than an open screen. Open screens are acceptable if highly detailed and rich in visual interest.

g) Under building parking structures for Sub-areas A, B, C, and G must be built to internal property lines to ensure a contiguous public open space is created on top of the parking structures.

h) Parking garage interconnectivity should be provided between Sub-Areas A & B;

i) Transit Oriented Development (or TOD) and Transportation Demand Management (TDM) are foundational principles upon which the Central Green Design Guidelines were developed. Several specific features are incorporated into the design to promote and ensure these goals are achieved.

- Transit - A BRT station at the Central Green site is being planned for and accommodated in the design. Additionally, a local transit facility along Richter Street is being planned for and accommodated in the design.
- Active Transportation – Central Green is immediately adjacent to and incorporated into the City's existing cycling and pedestrian networks. Developments should include provisions for safe and reliable bicycle storage within every phase of the development.
- Managed Parking Supply – Parking requirements have been reduced for Central Green and should not exceed the minimum standard where possible, a maximum of 125% of the required parking is permitted.
- Travel Options – As a means of promoting alternatives to single occupant vehicle travel, centralized and convenient amenities to facilitate, car-sharing, car and vanpool accessibility, as well as taxi services should be incorporated.

## 2.12 Soffits and Building Overhangs

- a) Any soffits, or the underside of any portion of a building, including the undersides of balconies, within 16m of grade and exposed to public view, should be treated to provide visual interest and show attention to detail.



## 2.13 Signage

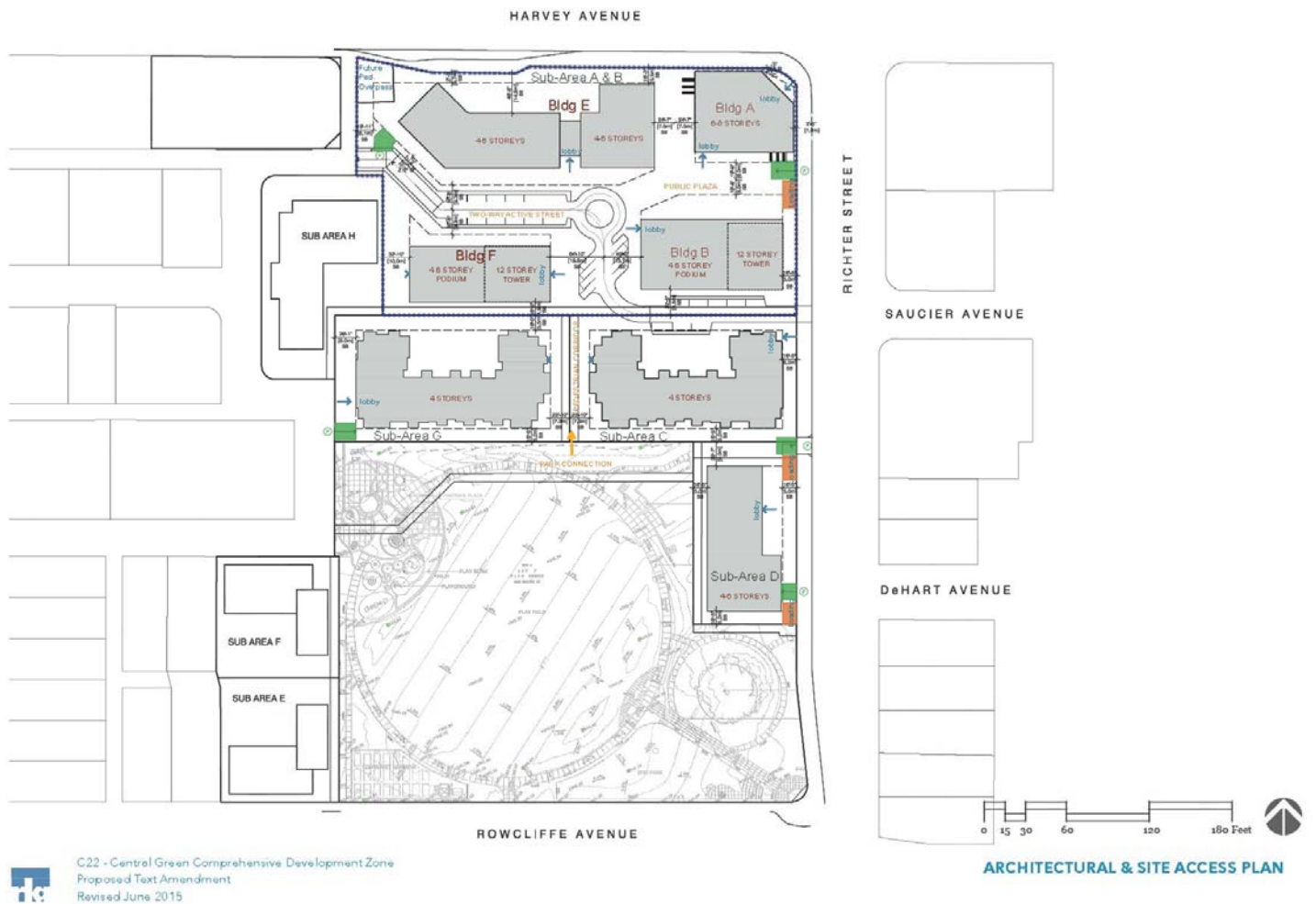
- a) The size of any individual sign should take into consideration the overall scheme of building signage and the appearance of the building's facades. Ultimately, the scale and visual qualities of a building should not be compromised by the size and number of signs.



## 2.14 Vents and Roof Flashing

- a) All roof flashings and vents exposed to public view should be painted to match adjacent surfaces or disguised in a manner consistent with the visual characteristics of the building.

2.15 Plan CG-1



C22 - Central Green Comprehensive Development Zone  
Proposed Text Amendment  
Revised June 2015

### 3.0 Sub – Area Guidelines

Plan CG-1 illustrates nine Sub-Areas within Central Green. Each Sub-Area has its own character as described in the following pages. While responding to site-specific character and features, each Sub-Area should contribute to a cohesive concept as set out in the General Design Guidelines.

#### 3.1 Sub-Area A & B

##### 3.1.1 General Design Objectives

- ✓ To create a neighbourhood focus for a principally residential precinct that is anchored by community commercial and office space;
- ✓ To create active commercial frontages that link with the Central Green public space network;
- ✓ To provide a visual/architectural backdrop to Rowcliffe Community Park.

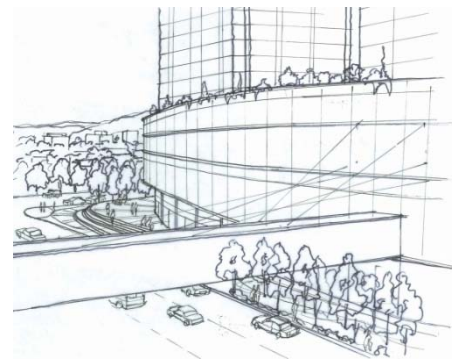
##### 3.1.2 Site-Specific Design Guidelines – Sub-Area A & B

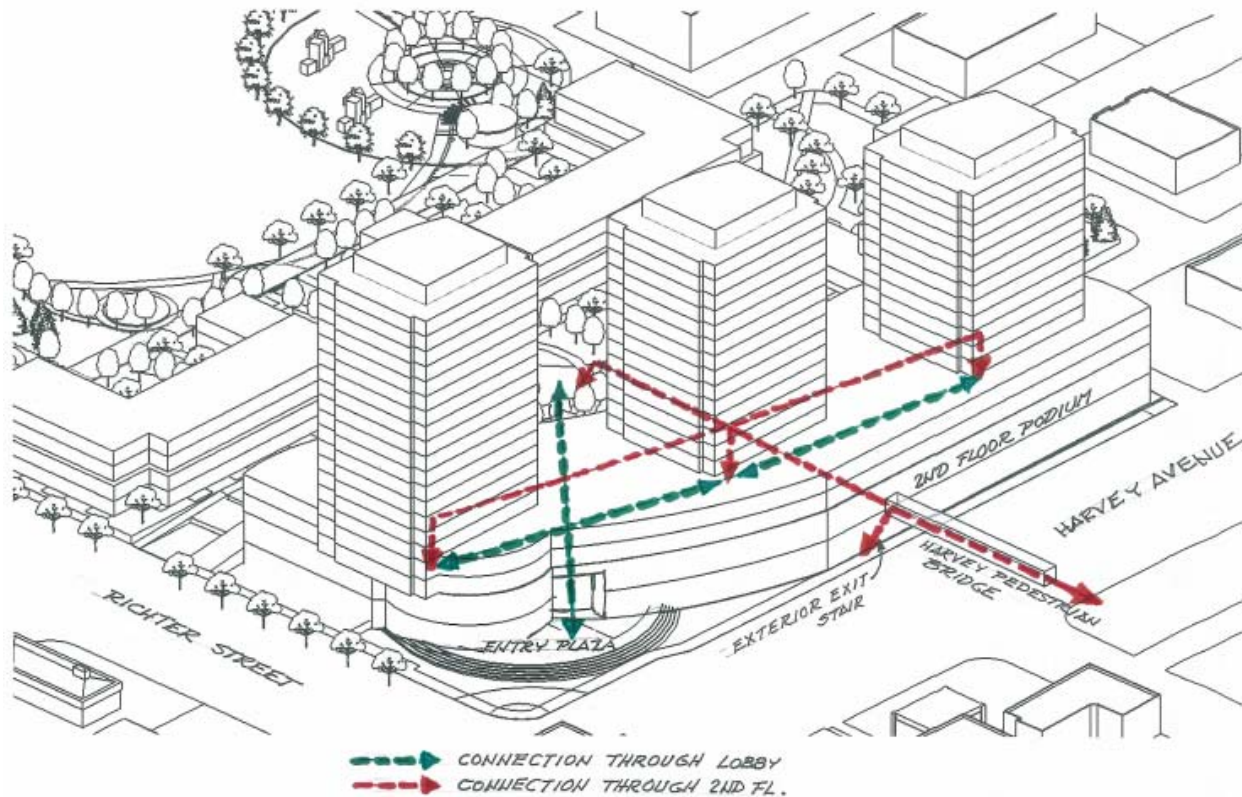
###### 3.1.2.1 PODIUM



a) Building siting and massing should generally conform to CG-1 with the podium presenting a defined edge to Highway 97 and Richter Street. The east-facing facade of the podium should generally align with the east face of Building C with a modest setting back from the plane inscribed by the east face of Building C encouraged (see Plan CG-1).

b) Public access to the site is expected to connect through the podium from the Richter Street/Harvey Avenue intersection to the open space on the south side of the podium of Building A & B (Plan CG-1). To facilitate this connection, an entry plaza to Building B should be provided on the south-west corner of the Richter Street/Harvey Avenue intersection. Public access to the site is also expected to connect through the podium from a pedestrian bridge anticipated to be constructed on axis with the west side of Highway 97.





c) Pedestrian Bridge over Harvey Avenue/Public Walkway: Consideration should be given to the building design to provide pedestrian access through the development to the south side or the western edge of buildings A & B. It is recommended that in addition to a required external stair to the street level from the pedestrian bridge that a “permanent” internal public walkway linking the pedestrian overpass over Harvey Avenue and the proposed development open space on the south side of Buildings A & B be established to facilitate safe and convenient public access.

d) The podium should incorporate curvilinear or non-rectilinear forms or segmented forms to help reduce perceptions of bulk. The south face of the podium in particular should incorporate such forms as a means of responding to and helping to shape the adjoining public space. (see 3.1.2.5 South Edge)

### 3.1.2.2 NORTH EDGE

a) Harvey Avenue carries large volumes of vehicles. Nevertheless, the face that Central Green presents to Harvey Avenue should appear welcoming and friendly and should otherwise soften the edges of the highway corridor and provide the best-quality pedestrian environment possible under the prevailing conditions. To this end, the north elevation should be consistent with 2.0 General Guidelines, set out herein. Along Harvey Avenue a permeable or active street frontage is desired. The corner of Harvey Avenue and Richter Street should provide an active street frontage.

### 3.1.2.3 EAST EDGE

a) The building form along the eastern edge of Sub-Area B should principally be articulated as a medium-density residential structure regardless of occupancy. The building should be set back a sufficient distance from the sidewalk edge to create a transition space that clearly demarcates the public realm from the private. (see 3.1.2.1a) Private outdoor amenity space associated with any ground-level units can be provided within this space.



b) Tower 3 on the north-east corner of the site can be expressed as a form that wholly or partially sits on the ground plane. Alternatively, it can be expressed as a form that sits on the podium, i.e., is set back from the podium edges. Regardless of approach, the form should not compromise the human scale of the adjoining entry plaza.



### 3.1.2.4 WEST EDGE

a) This edge should present a visually-interesting face to motorists heading east along Harvey Avenue.



b) A pedestrian-connection around the west side of the podium is desired. A view from within the Central Green site, between the podium and the building on the north side of Sub Area H should be maintained. The minimum distance between these buildings should be 17m, not only for the sake of maintaining a view corridor, but also to protect the privacy and views of residents within each of these buildings.

**3.1.2.5 SOUTH EDGE**

a) The podium form should help define the adjoining public outdoor space. To this end, a curvilinear form that creates a complementary sense of enclosure and also provides an appropriate backdrop to the axis between Sub Areas C and G is preferred (Plan CG-1 & 3.1.2.1c). Within this south-facing podium wall, the access leading through the building to any pedestrian overpass at Bertram Street, as well as the access leading to the plaza on the north-east corner of the site should be clearly identifiable.



inviting pedestrian environment and space. It is anticipated that the sole the site will be located at grade level edge. These occupancies should have 5m. They should provide goods and day-to-day needs of Central Green those of the neighbouring residential help animate the adjoining public opportunities for outdoor café seating and merchandising.



b) This face of the podium is proposed to be both open and active to create an character to the open retail occupancies on along this building a minimum depth of services that serve the residents as well of community, and should space with

c) As this is a south-facing building edge, and outdoor seating is encouraged in conjunction with the retail occupancies envisioned to occupy the adjoining ground-floor spaces, consideration should be given to the comfort of pedestrians/customers using the public space in front of the building. Keen attention should be given to the creation of micro-climates that facilitate use of the space and that address the physical needs of its occupants over the course of the four seasons. Shade from the summer sun should be available, with exposure to sun and protection from wind a prime design consideration during the other months of the year. Canopies, overhangs, and arcades for protection from rain should also be considered.





d) Retail spaces should be easy to see into from the adjoining outdoor space(s). However, achieving a high degree of transparency should not preclude use of mullion patterns that add visual interest and human scale to the building

e) The design of any signage associated with the retail occupancies should be logical and simple. Signage should not attract attention to the extent that a sign becomes the dominant feature of the facade. Signs that extend over large areas are discouraged. All signage should principally be pedestrian-oriented.



f) Prominent and colourful signage creating a rich visual character is encouraged to enhance an overall festive ambience. Signs should be made of durable, weather-resistant materials, and be professionally fabricated and installed. Box signs are strongly discouraged.



g) Awning signs should be limited to the awning valance. Letters should be of appropriate scale and size to complement the character of the awning design.



### 3.1.2.6 TOWERS

- a) The towers should be designed to help reduce perceptions of bulk as well as to develop and contribute to a distinct identity for the architectural expression of development (also see Regional Expression).
- b) Noting their prominent identity in the regional landscape, and the importance of slenderness in improving solar access, building tops should be integral



elements of the overall building form and expression. Tower tops are encouraged to include trellising and roof projections that are integral extensions of the building structure and contain substantial landscaping.



c) A substantive distinction is encouraged between the podium and tower portions of the building. Additionally, elements that create an overlap of the podium with the tower portions are encouraged. These elements should have their origins at ground level but should rise above the podium to interconnect with the tower portion of the building (see d) below). This effect can be achieved through articulation of planes and sub-forms expressed in contrasting materials and colours.



d) Tower facades are intended to be perceived as assemblages of vertical forms. Facade planes should be restricted to 15m in width. Abutting planes should be distinguished by; 1) changes in materials and/or 2) changes in depth, i.e. setbacks from the property line, and/or 3) detailing, e.g. a reveal, a structural element, or an intervening/transition material. Where frontage plane's longer than 25m occur, they should be articulated with a change in depth of at least 1.5m in depth.



e) Towers should generally have a minimum 25m separation from any other tower, with the distance between buildings measured from the nearest vertical plane, not including balconies, on each building.

f) The intent is for the architecture to express a slender verticality, particularly in its upper elements.

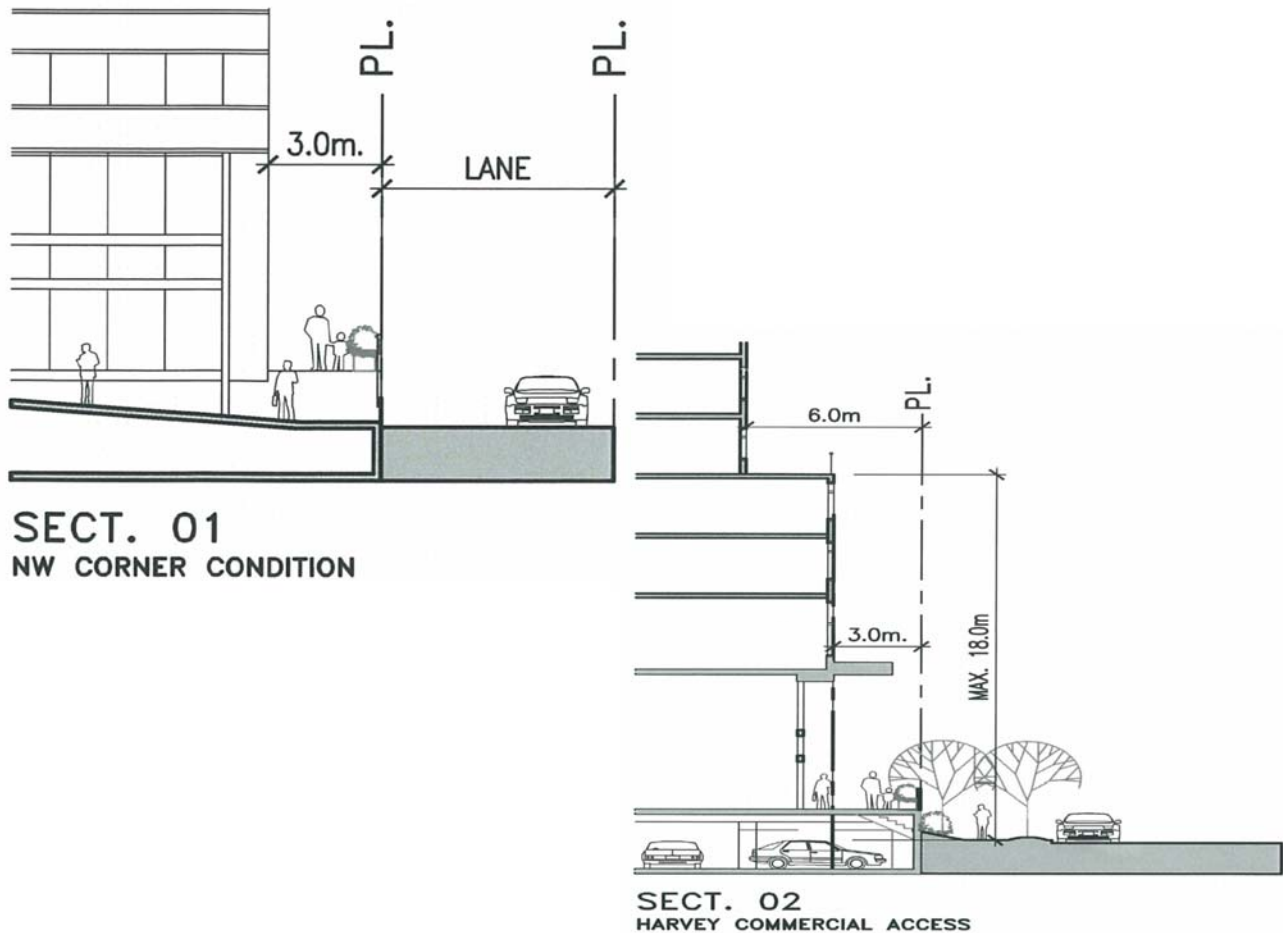
g) In order to foster a sense of neighbourliness it is important that the individual identity of floors and units be expressed. Continuous, homogenous building treatments that tend towards the perception of a monolithic building massing are strongly discouraged.



### 3.1.3 Dimensional Parameters

#### 3.1.3.1 SETBACKS AND STEP BACKS

- A minimum depth of 6 metres from the property line to act as a build-to-line for 50% of development located along the Northern property lines adjacent to street frontage (along Harvey Avenue). A minimum setback of 4.5m should be provided from the property line adjacent to the proposed Bus Rapid Transit Stop along Harvey Avenue.
- A minimum depth of 3 metres from the property line to act as a build-to-line for 50% of development located along property lines adjacent to Richter Street.
- An additional step back of 12 metres from property lines shall be provided above the podium adjacent to Harvey Avenue and all property lines adjacent to other Central Green parcels.
- The parking structures must be built to the South property line and must be coordinated, in respect to the height, finishing and siting, with the parking structures of Sub-areas C and G to ensure a contiguous public open space is created on top of the parking structures.





**SECT. 03**  
HARVEY & RICHTER PODIUM

### **3.1.3.2 PRIVATE OPEN SPACE**

- a) A minimum area of 7.0 m<sup>2</sup> of private open space shall be provided per bachelor dwelling, congregate housing bedroom or group home bedroom, 12.0 m<sup>2</sup> of private open space shall be provided per 1 bedroom dwelling, and 18.0 m<sup>2</sup> of private open space shall be provided per dwelling with more than 1 bedroom.

### **3.1.3.3 LANDSCAPED AREA**

- b) A minimum of 40 % of the site area plus all adjoining City Boulevards are required to be landscaped. This includes both hard and soft landscaping.

## 3.2 Sub-Areas C, D, E, F, G and H

### 3.2.1 General Design Objectives

- ✓ To create a safe, human-scaled neighbourhood with a strong sense of identity that promotes social interaction and community cohesiveness.

### 3.2.2 General Design Guidelines

The following guidelines apply to sites C, D, E, F, G and H:

- All buildings are encouraged to have ground-oriented units on all frontages;
- Definition of front yards of ground-oriented units through the use of hard- and/or soft-landscaping elements is encouraged. Changes in grade may also be acceptable;
- All buildings should have at least one principal building entrance facing, and clearly-identifiable from a public street;
- A continuous, clearly-demarcated, all-weather walkway should be provided from the nearest public street to the main building entrance;



### 3.3 Site-Specific Design Guidelines – Sub-Area C

a) Building siting and massing should generally conform to Plan CG-1 with Building B presenting a strong edge to Richter Street and should generally align with the east face of the podium (Sub Area B) and the east face of Building D.



b) As with Building B, Building C should be set back a sufficient distance from the sidewalk edge to create a transition space that clearly demarcates the public realm from the private.

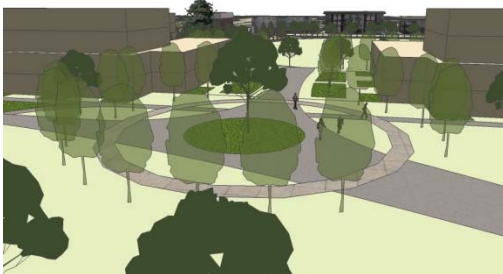
c) The principal entry to the building should

be readily identifiable from Richter Street.

d) The form of Building C in conjunction with that of Building D, should enclose an outdoor space that faces the principal public space within the community park (Plan CG-1).



e) The form of Building C should present an edge to the path that leads from the principal public space to the courtyard on the south side of the podium of Sub Areas A & B. The form should complement a similar form associated with Building G such that the path between the two public spaces is compressed and has a degree of formality that contrasts with the more casual character of the spaces it connects.

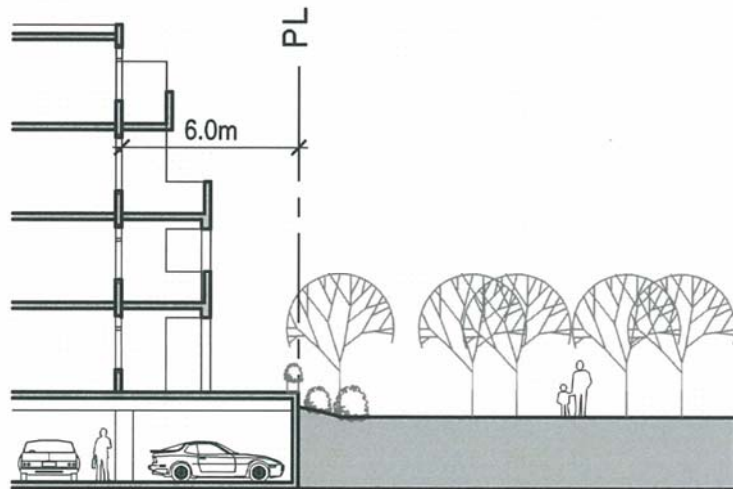


#### 3.3.1 Dimensional Parameters

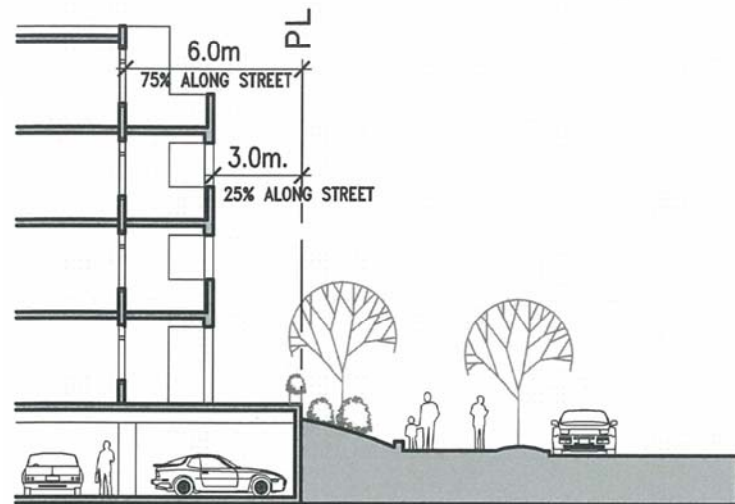
##### 3.3.1.2 SETBACKS AND STEP BACKS

- a) A minimum depth of 3 metres from the property line to be further defined as a build-to-line for 75% of the property line adjacent to the street frontage along Richter Street and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.
- b) Any portion of a development adjacent to a designated pathway connecting to park space shall be setback a minimum of 12 metres from the property line. This does not include the under-building parking structure, as the designated pathway is intended to be on top of the parkade.

- c) Any portion of a development adjacent to Sub-area I shall provide a minimum setback of 3 metres from the property line and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.
- d) The parking structure must be built to the North and West property lines and must be coordinated, in respect to the height, finishing and siting, with the parking structures of Sub-areas A, B, and G to ensure a contiguous public open space is created above the parking structure.



**SECT. 05**  
PARK STEPBACK CONDITION



**SECT. 04**  
STREET CONDITION

### 3.4 Site-Specific Design Guidelines - Sub-Area D

a) Building siting and massing should generally conform to Plan CG-1 with Building D presenting a strong edge to Richter Street. Alignment of the east-facing facades of Buildings C and D is encouraged.



b) As with Building C, Building D should be set back a sufficient distance from the sidewalk edge to create a transition space that clearly demarcates the public realm from the private. Private outdoor amenity space associated with ground-level units can be provided within this space.



c) The north-east corner of Building D along Richter Street should be articulated to draw visual attention and to otherwise highlight this location within the overall building form. A strong building feature or perhaps the principal entry to the building should be located at this corner.

d) Additionally, the form of Building D, in conjunction with that of Building C, should enclose an outdoor space that faces the principal public space within the community park (Plan CG-1).



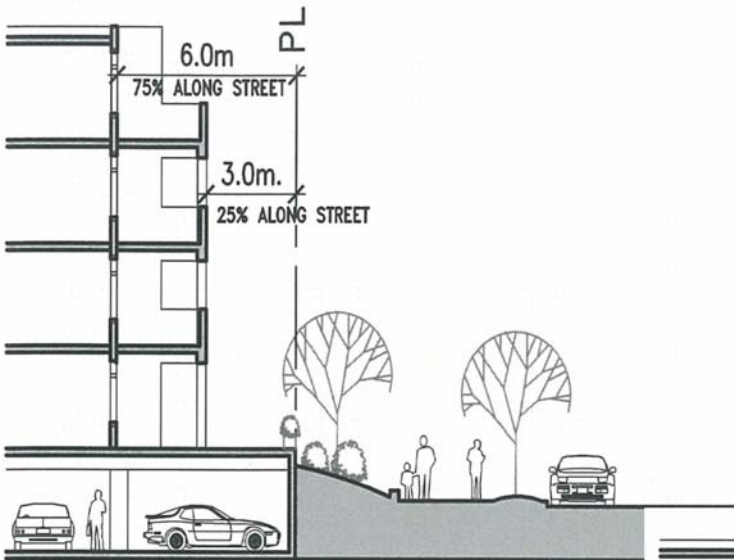
e) The south elevation of Building D should present a welcoming and visually-interesting face to motorists and pedestrians heading north along Richter Street.

#### 3.4.1 Dimensional Parameters

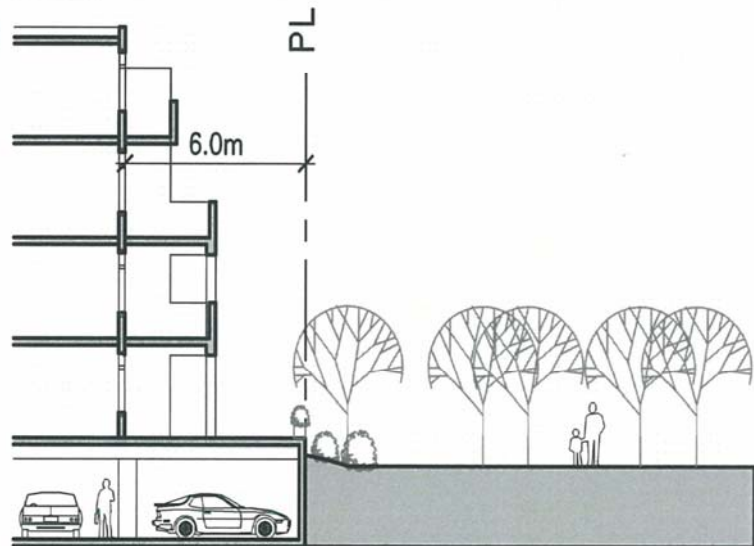
##### 3.4.1.2 SETBACKS AND STEP BACKS

- a) A minimum depth of 3 metres from the property line to be further defined as a build-to-line for 75% of the property line adjacent to the street frontage along Richter Street and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.

- b) Any portion of a development adjacent to Sub-area I shall provide a minimum setback of 3 metres from the property line and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.



**SECT. 04**  
**STREET CONDITION**



**SECT. 05**  
**PARK STEPBACK CONDITION**

### 3.5 Site- Specific Design Guidelines - Sub-Areas E and f

a) Building siting and massing of Buildings E and F should generally conform to Plan CG-1.



b) Building E should be set back a sufficient distance from the sidewalk edge along Rowcliffe to create a transition space that clearly demarcates the public realm from the private. Private outdoor amenity space associated with ground-level units can be provided within this space.

c) Buildings E and F should be set back a sufficient distance from the sidewalk edge located along the east side of the site, to create a transition space that clearly demarcates the public realm from the private. Private outdoor amenity space associated with ground-level units can be provided within this space.

d) Buildings E and F should respect the adjacent single-unit residences. It is recommended that the massing of Buildings E and F step down to a height that approximates the height of the buildings on the adjoining properties. Additionally, the setbacks of Buildings E and F from Rowcliffe Avenue and Buckland Avenue respectfully, should not be less than the setbacks of the adjacent buildings from these streets.

e) The principal entrance to Building E should be clearly identifiable from Rowcliffe Avenue.

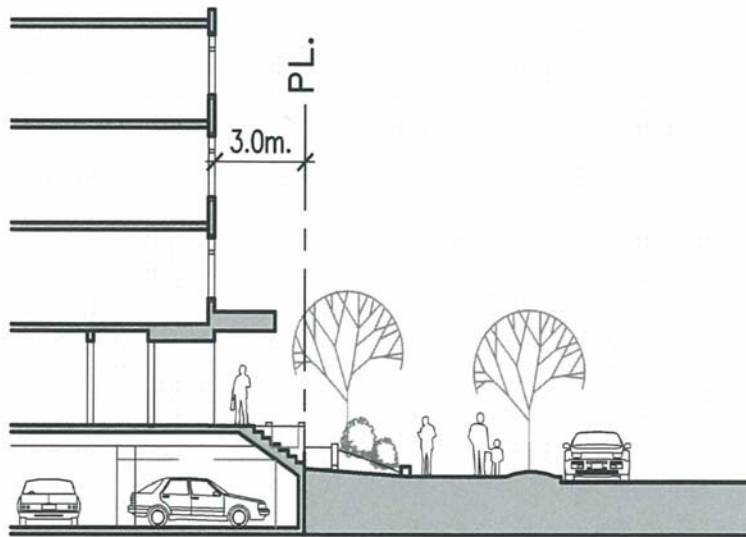
f) The principal entrance to Building F should be clearly identifiable from Buckland Avenue.

g) Use of historic references, e.g., details, building forms, etc. that complement the character of the adjacent Marshall Street Heritage Conservation Area is encouraged.

#### 3.5.1 Dimensional Parameters

##### 3.5.1.2 SETBACKS AND STEP BACKS

- a) A minimum depth of 3 metres from the property line to be further defined as a build-to-line for 75% of the property line adjacent to the street frontage along Rowcliffe Avenue and Buckland Avenue.
- b) Any portion of a development adjacent to Sub-area I shall provide a minimum setback of 3 metres from the property line and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.
- c) Any portion of the proposed development adjacent to single family residential shall provide a minimum setback of 3 metres from the property line and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.



**SECT. 06**  
**BLDG ENTRANCE CONDITION**

### 3.6 Site- Specific Design Guidelines - Sub-Area G



a) Building siting and massing should generally conform to Plan CG-1. Alignment of the north-facing facades of Buildings G and C is encouraged.

b) Building G should be set back a sufficient distance from any sidewalk edges to allow a transition space that clearly demarcates the public realm from the private. Private outdoor amenity space associated with ground-level units can be provided within this space.

c) The form of Building G should present an edge to the path that leads from the principal public space to the courtyard on the south side of the podium (Sub Areas A & B). The form should complement a similar form associated with Building C such that the path between the two public spaces is compressed and has a degree of formality that contrasts with the more casual character of the spaces it connects.



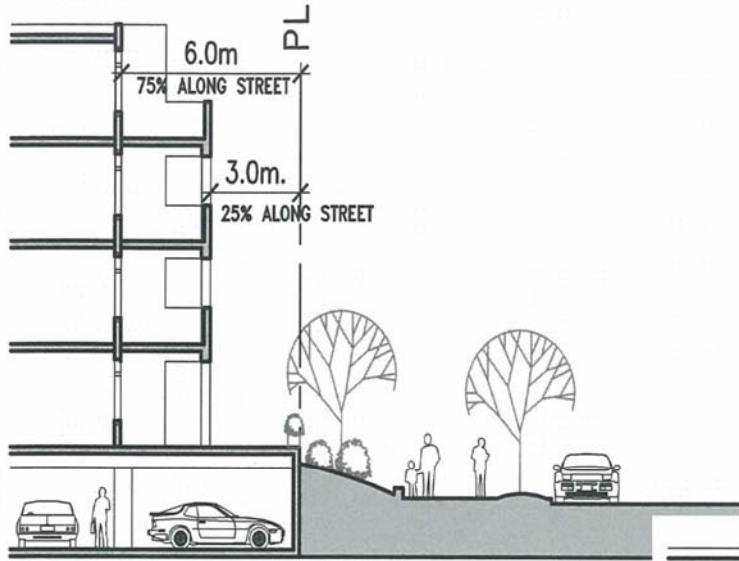
d) The principal entrance to Building G should be clearly identifiable from Rosemead Avenue. Use of historic references that complement the character of the adjacent Marshall Street Heritage Conservation Area are encouraged.

#### 3.6.1 Dimensional Parameters

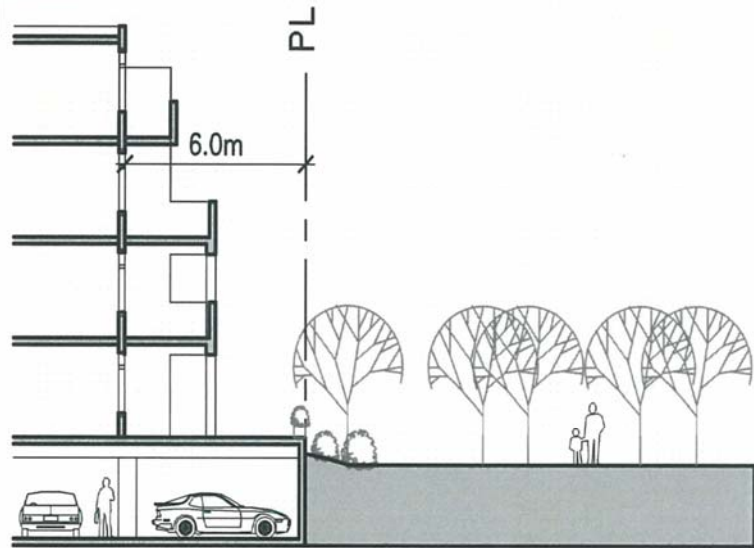
##### 3.6.1.1 SETBACKS AND STEP BACKS

- a) A minimum depth of 3 metres from the property line to be further defined as a build-to-line for 75% of the property line adjacent to the street frontage along Chapman Place and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.
- b) Any portion of a development adjacent to a designated pathway connecting to park space shall be setback a minimum of 12 metres from the property line. This does not include the underbuilding parkade as the designated pathway is intended to be on top of the parkade.

- c) Any portion of a development adjacent to Sub-area I shall provide a minimum setback of 3 metres from the property line and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.
- d) The parking structure must be built to the North and East property lines and must be coordinated with the parking structures of Sub-areas A, B, and C to ensure a contiguous public open space is created above the parking structure.



**SECT. 04**  
STREET CONDITION



**SECT. 05**  
PARK STEPBACK CONDITION

3.7 Site-Specific Design Guidelines - Sub-Area H



a) Building siting and massing should generally conform to Plan CG-1.

b) Building H should be set back a sufficient distance from any sidewalk edges to allow a transition space that clearly demarcates the public realm from the private. Private outdoor amenity space associated with ground-level units can be provided within this space.

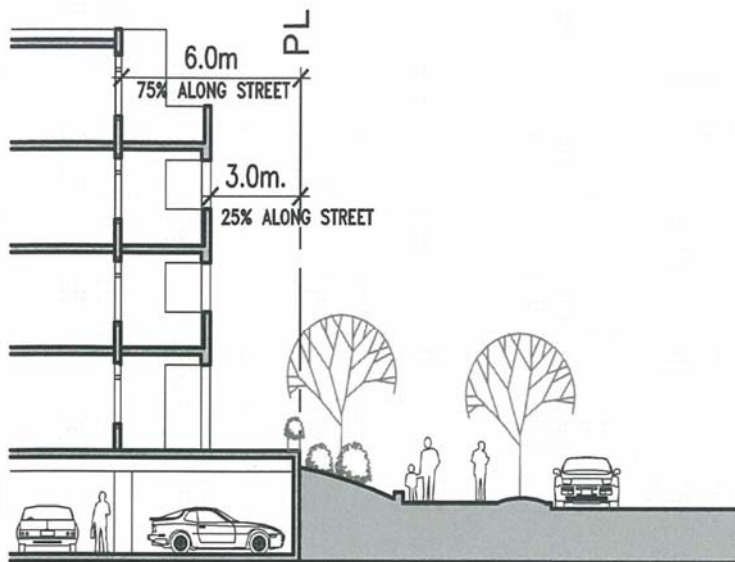
c) The principal entrance to Building H should be clearly identifiable from Rosemead Avenue.

d) Use of historic references that complement the character of the adjacent Marshall Street Heritage Conservation Area is encouraged.

3.7.1 Dimensional Parameters

3.7.1.2 SETBACKS AND STEP BACKS

a) A minimum depth of 3 metres from the property line to be further defined as a build-to-line for 75% of the property line adjacent to the street frontage along Chapman Place and a step back above the second storey of a minimum of 6 metres from the property line to the approval of the development authority.



SECT. 04  
STREET CONDITION

## CD23 - Public Market and Open-Air Market

### 1.1 Purpose

The purpose is to provide for an agribusiness and **agritourism** zone that meets local and tourist demand for agricultural products, services and experiences. Due to the seasonal nature of **agriculture**, this zone also provides for a flexible range of **secondary uses** which serve local residents on a year round basis.

### 1.2 Principal Use

The **principal uses** for the area designated as **Public Market** on Map 1 are:

- a) **public market**

The **principal uses** for the area designated as **Open-Air Market** on Map 1 are:

- a) **open-air market**

### 1.3 Secondary Uses

The **secondary uses** for the area designated as **Public Market** on Map 1 are:

- a) **artisan live/work studios**
- b) **greenhouses and plant nurseries**
- c) **market agriculture**
- d) **market breweries and distilleries**
- e) **market community space**
- f) **market liquor retail store**
- g) **market offices**
- h) **market restaurant and café**
- i) **market retail store**
- j) **market studios and galleries**
- k) **residential security/operator unit**

The **secondary uses** for the area designated as **Open-Air Market** on Map 1 are:

- a) **carnivals**
- b) **flea market**
- c) **market agriculture**
- d) **market trade show**

#### 1.4 Subdivision Regulations

The **subdivision regulations** for the area designated as **Public Market** on Map 1 are:

- a) The minimum **lot width** is 30 m.
- b) The minimum **lot depth** is 30 m.
- c) The minimum **lot area** is 0.10 ha.

The **subdivision regulation** for the area designated as **Open-Air Market** on Map 1 is:

- a) The minimum **lot area** is 1.0 ha

#### 1.5 Development Regulations

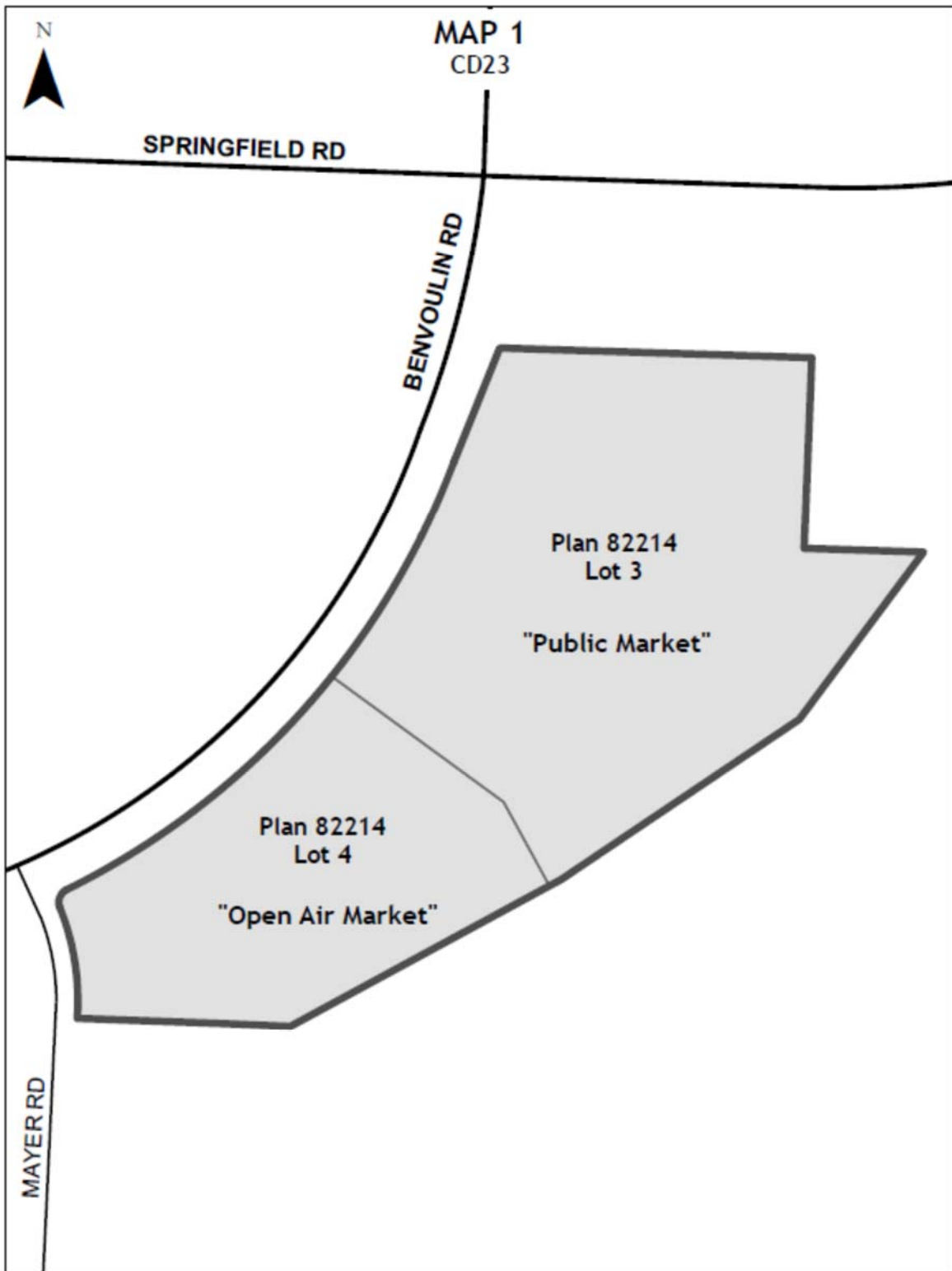
The **development regulations** for the area designated as **Public Market** and **Open-Air Market** on Map 1 are:

- a) The maximum **floor area ratio** is 0.4 for all developments.
- b) The maximum **site coverage** is 25%.
- c) The maximum **height** for **buildings** and **structures** within the CD23 zone is 14 m except for architectural features including but not limited to clock towers, chimneys, lanterns and belfries.
- d) The siting of **buildings** and **structures** shall be in general accordance with the conceptual plans as approved and incorporated as CD23, Map 2 – Illustrated Site Plan.
- e) In the interest of maintaining the **Public Market** as a collection of small businesses, the maximum commercial area of any one business shall be limited to 125 m<sup>2</sup>. The 125 m<sup>2</sup> limitation shall include only the public space (i.e. where the public physically receives services). Areas that are not open to the public shall not exceed 50% of the square footage of the public space.
- f) The maximum **floor area** for **artisan live/work studios** is 1,300 m<sup>2</sup>.
- g) The maximum number of **artisan live/work studios** is ten (10).

#### 1.6 Other Regulations

- a) Within the CD23 zone, land uses shall be permitted in accordance with the plans as approved and incorporated as CD23, Map 2 – Illustrated Site Plan.
- b) In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 6 (accessory development, yards, projections into yards, lighting, etc.), the landscaping and fencing provisions of Section 7, and the specific use regulations of Section 9.

- c) Parking and loading requirements will meet the general development regulations of Section 8 – Parking and Loading, or will be determined through the findings of a shared use parking study at the time of development permit.
- d) **Vehicle-oriented** or drive-through commercial services are not permitted in this zone.
- e) Market vendors, retailers or restaurateurs shall be encouraged to profile British Columbian products.
- f) **Artisan live/work studio**  
This use shall be subject to the following conditions:
  - i. The studio may only be used by the individuals residing in the residential unit and associated with the artist studio on a full-time (>30 hours per week) basis.
  - ii. Perspective tenants/residents shall be required to prove professional working artist status by submitting relevant financial information and artistic qualification documents for review by building management prior to signing a lease.
  - iii. The maximum unit size shall be 150 m<sup>2</sup>.
  - iv. The minimum unit size shall be 40 m<sup>2</sup>.
  - v. A maximum of 50% of the total floor area may be used for the production, showing, and sale of art and crafts.
  - vi. The studio component of all **artisan live/work studio(s)** will be at the retail level and accessible to the public.
  - vii. Use of the premises for the production of dance or live music involving electronically amplified sound is prohibited.
  - viii. The use of fiberglass, epoxy and other toxic or hazardous materials or one or more of the following processes: welding, spray painting or silk screening is prohibited.
- g) Individual vendors of the **Open-Air Market** may not construct buildings or structures.
- h) A **flea market** will at all times remain a secondary use to the **Open-Air Market** and the scheduling needs of the **Open-Air Market** operations. A **flea market** use shall not exceed a time period of two (2) consecutive days in duration.
- i) Development form and character shall be in compliance with the CD23 – **Public Market** and **Open-Air Market** – Design Guidelines document that is attached to and forms part of this Bylaw. Development Permits and Official Community Plan design guidelines may also apply.





Comprehensive Development Zone Text

Map 2: Illustrated Site Development Plan

- 1 EASTSIDE - Public Market
- 1 The Granery  
Commercial Retail Studio
- 2 Mission Crossing Sports  
Winery, Cider & Brewery
- 3 The Yard  
Nursery & Landscape Supply
- 4 Central Market Hall  
Permanent Public Market
- 5 Gatehouse Live/Work Studios  
Commercial Retail/Market Administration
- 6 Artisan Mews  
Integrative signage and/or public art
- 7 Mission Creek Green  
Public Gathering Space / Performance
- 8 EASTSIDE - Open Air Market
- 9 Market Pavilion  
Sheltered Stalls / Public Washrooms / Storage
- 9 Open Air Market  
Market / Parking
- 10 Mission Creek Regional Park Trailhead  
Greenway / Public-access / Parks & Recreation

Notes: For illustration and planning purposes only. All developed areas and boundaries are subject to advancement through more detailed site design and engineering at the time of development permit.

Map 2  
CD23

# MISSION CROSSING

Comprehensive Development Zone (CD23)



## Public and Open-Air Market

*Design Guidelines*



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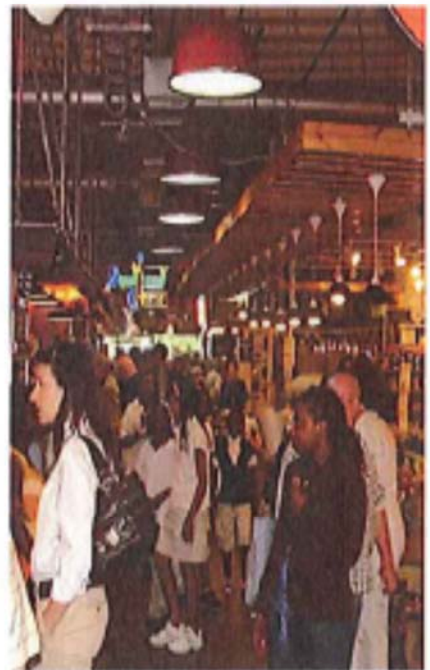
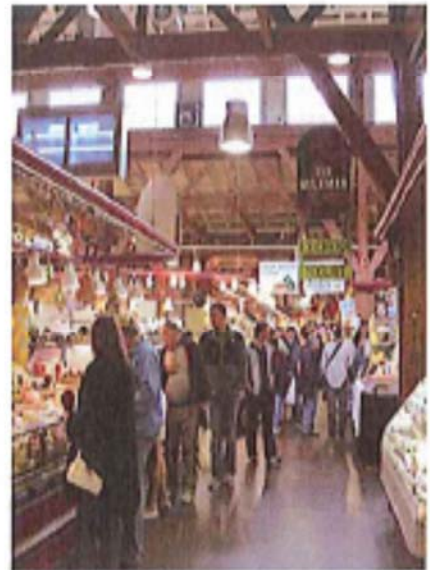
# 1 PURPOSE

Within the context of the Okanagan Valley's rich cultural and agricultural heritage, the Public & Open-Air Market is envisioned to not only support local agriculture and its associated value-added industries, but also serve as a community focal point to celebrate local food, arts and culture.

From general programming of uses to ultimate built form, the design will reflect a functional understanding of a public marketplace and positive public/pedestrian spaces, authentic use of materials and an aesthetic reflective of the site's regional / cultural vernacular.

These Design Guidelines have been created to support the implementation of Comprehensive Development Zone CD 23. The Guidelines serve to identify the forms and character of development which are considered appropriate and consistent with the vision and purpose of CD 23 Public & Open-Air Market.

The Design Guidelines will direct City staff and the development community when designing and reviewing form and character elements of the subject property with respect to, but not limited to: buildings and structures, public realm and landscape design, signage, lighting and parking.



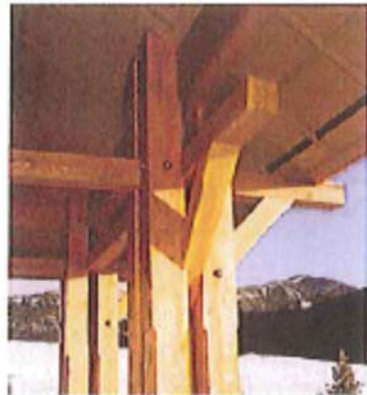
## 2 GENERAL DESIGN OBJECTIVES & THE REGIONAL VERNACULAR

**Statement of Intent:** The design of the Public & Open-Air Market buildings and public spaces should exemplify unique and distinctive characteristics of the Central Okanagan, drawing inspiration from the region's natural and cultural heritage.

**Rationale:** Authenticity in design – from site layout to architectural elements – is fundamentally defined by site program and its support of local need; architectural function in consideration of programmatic and climatic conditions; and the ultimate character of built form through its incorporation of local materials and styles.

In general the design of the Public & Open-Air Market should satisfy the following objectives:

- a) Celebrate local cultural (agricultural) heritage in the siting, programming and design of Public & Open-Air Market buildings and public spaces;
- b) Employ appropriate physical design responses in consideration of regional climate, utilizing native materials in architectural and landscape design; and,
- c) Utilize functional elements of local (agricultural) architectural vernacular in support of overall human-scaled architectural, public realm and landscape design.



### 3 SITE DESIGN: GENERAL LAYOUT & BUILDING SITING

**Statement of Intent:** Site design and specific building siting should reflect an assembly of program-specific buildings, each designed in response to its own intended function within the larger Public & Open-Air Market program. Buildings should be sited in general accordance with the Illustrated Site Development Plan (refer to Figure 1).

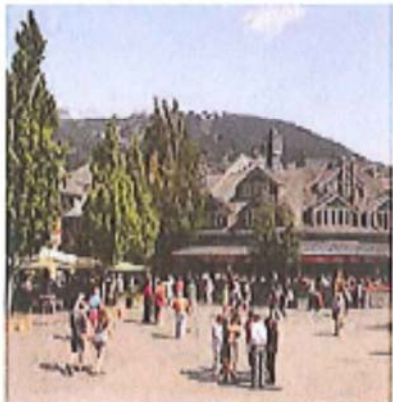
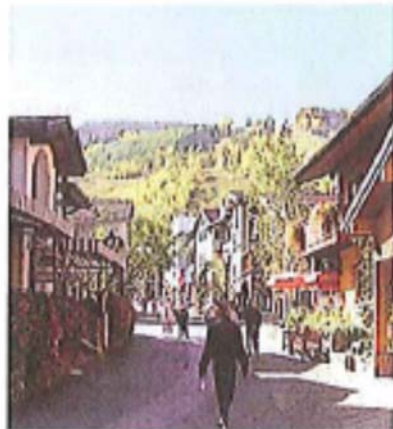
**Rationale:** Structures on site will form a community of buildings punctuated by public spaces creating a 'village' styled market experience.

Site layout and building siting at Mission Crossing should satisfy the following objectives:

- a) Establish a visually-interesting and human-scaled collection of program-specific buildings, organized to create positive public spaces;
- b) Respond to prominent (external and internal) views and physical linkages;
- c) Promote efficient and pedestrian-friendly circulation; and,
- d) Take advantage of opportunities for adjacent programmatic connections.

#### 3.1 Site Structure & Hierarchy of Built Form

Buildings at the Public & Open-Air Market should correspond to a legible hierarchy of scale, where smaller auxiliary buildings support the feature market building. The utilization of human-scaled architectural forms should be designed to frame public spaces and provide thoughtful transitions between the built environment and open spaces. Taken together, overall site structure should be clearly defined and designed in support of a comprehensively designed and comfortable pedestrian realm.



### 3.2 Arrival Sequence & Site Entry

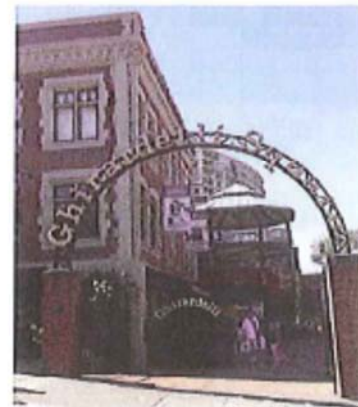
6

Design of the arrival sequence for the Public & Open-Air Market will define the character of the site and provide a clearly-identified, welcoming access from Springfield and Benvoulin Roads for all modes of transportation (e.g. pedestrians, cyclists, and motorists). Elements signalling transition into the market site can include but are not limited to: trees and feature landscape, walls and railings, decorative gates, monuments and signage. Transitioning of road/walkway surfacing may also be considered.



### 3.3 Edges & Access

Ensure buildings are designed and sited to provide visual interest and where appropriate, accessibility from Springfield and Benvoulin Roads. Edge conditions will be addressed so as to ensure that the site and individual buildings are clearly identifiable. The principal points of access should embody visual cues that communicate that it is the primary access or "front door" to the site (as per rendering).



## 4 PUBLIC REALM DESIGN

**Statement of Intent:** Public realm design should support the programmatic intent of the Public & Open-Air Market through the establishment of a diversity of high-quality, well-detailed and pedestrian-friendly (shared) public spaces including plazas, parkettes and streets.

**Rationale:** Public spaces will animate the 'village' styled market experience, enhance the pedestrian environment and allow for flexibility / seasonality within the market program.

Public Realm design at the Public & Open-Air Market should satisfy the following objectives:

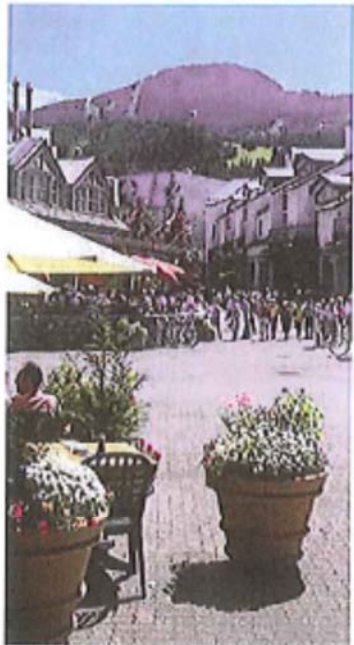
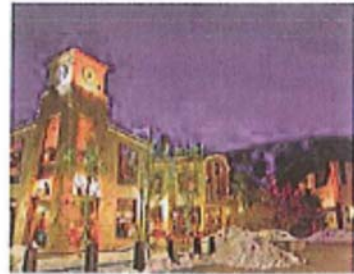
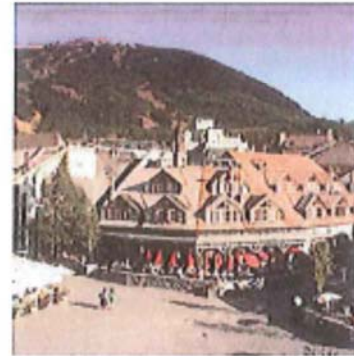
- a) Prioritize a human-scaled, pedestrian experience;
- b) Promote community gathering and social interaction;
- c) Respond to climatic variability in the design of comfortable and seasonally-flexible and appropriate outdoor spaces;
- d) Create a sense of timeless place, defined by a consistency in high-quality, durable materials and well-detailed design elements;

### 4.1 Structure & Hierarchy of Public Spaces

Public spaces should reflect a distinct hierarchy and diversity of form and function, from centralized plaza spaces to smaller seating niches, from community greens to feature landscaping (for visual amenity) – in support of the overall market program. The overall network of public spaces should be linked via a cohesive network of pedestrian sidewalks and pathways. Provision of a safe, inviting series of interconnected public spaces is encouraged. In addition to site permeability, permeability of structures will also ensure a visually interesting and functional site.

### 4.2 Market Laneway(s)

Streets and plaza spaces within the Public and Open-Air Market should blend seamlessly to create a central shared space, designed for pedestrian priority and programmatic flexibility (see "Shared Space"). Travel lane widths should be minimized and separated / segregated via feature paving and panel and/or rollover curbs. Plazas should be detailed with high-quality, durable materials and should be designed with flexibility in mind, to accommodate a wide variety of market-related programs (from outdoor cafes / dining spaces to temporary commercial vendors / sidewalk sales to street performances).





### 4.3 Parks & Greenways

Open space design for the Public and Open-Air Market should complement the built elements of public realm design and provide soft-landscaped gathering spaces. Parks and greenways contribute to the overall pedestrian focus of the Public and Open-Air Market program and support outdoor recreational (active and passive) opportunities on site, from physical connectivity for pedestrians and cycling to picnic areas and performance space.



### 4.4 Outdoor/Indoor Relationships

Similar to architectural design considerations for the extension of outdoor program into indoor spaces (see Section 5.3 "Inside/Outside Relationships"), outdoor spaces should consider opportunities to strengthen adjacent building program through the creation of flexible spaces for gathering and/or temporary expansion of commercial programs. Examples include plaza design for seasonal expansion of market-related programs as well as park/open space design for season programming (concerts, film screenings, etc.).



### 4.5 Programming & Flexibility

Public realm design – including pathways, open spaces and enclosed or sheltered public spaces – should be flexible and accommodate a number of activities, whether programmed or spontaneous.



### 4.6 Human Scale

Detailing of public realm elements should create a strong sense of human scale. In particular, elements should provide a high level of visual interest and attention to detail and otherwise convey that the project has been developed with a sense of care and craftsmanship.



### 4.7 Street Furniture

Street furniture – such as light standards, benches, bicycle racks, and recycling/refuse receptacles – shall be incorporated in the public realm design to support the overall Public and Open-Air Market program and should be consistent with the overall character of site materials and/or architecture.



## 4.8 Public Art

Public art, where appropriate, should be located to aesthetically enhance the site, support wayfinding objectives (see Section 7 "Wayfinding") and should consider opportunities to provide interactive and interpretive experiences for people of all ages and abilities.



## 5 ARCHITECTURAL DESIGN

**Statement of Intent:** Architecture at the Public and Open-Air Market aspires to create an appropriate and memorable response to the defined market program and its site / context, while celebrating Kelowna's rich cultural heritage.

**Rationale:** Local architectural vernacular is largely based upon functional structures and draws from traditions of post and beam and timber frame buildings. Furthermore, adherence to architectural styles is not intended to stifle creativity but rather to create an appropriate architectural palette from which to build attractive and contextual designs.

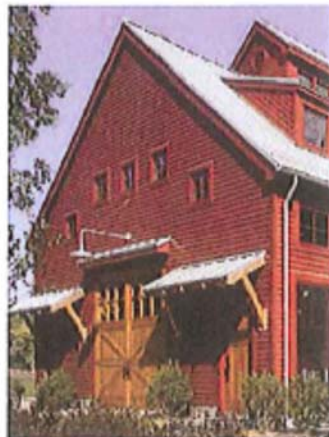
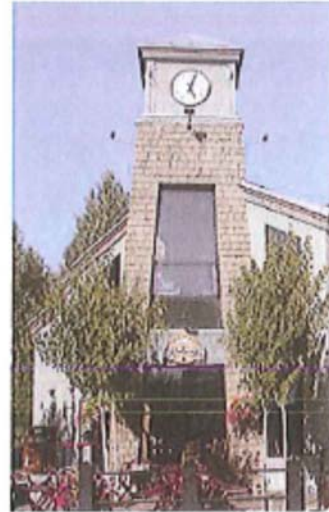
Architectural design at the Public and Open-Air Market should satisfy the following objectives:

- a) Reflect functional forms and exposed structures of the regional / agricultural architectural vernacular;
- b) Enhance the human-scaled and pedestrian-orientation of the overall 'village' character of the Public and Open-Air Market through the use of a diversity of building sizes, forms and masses;
- c) Respond to climatic variability through the use of appropriate materials, complimenting the overall vision of the Public and Open-Air Market and supporting green building objectives; and,
- d) Design beautiful buildings that not only accommodate their programmatic function but inspire and delight the public realm of adjacent plazas and streetscapes.

### 5.1 Form & Structure

Traditionally, agricultural structures consist of regular, rectangular building footprints, simple roof forms (with strong ridgelines and gables), visible structural elements, archways and oversized points of entry.

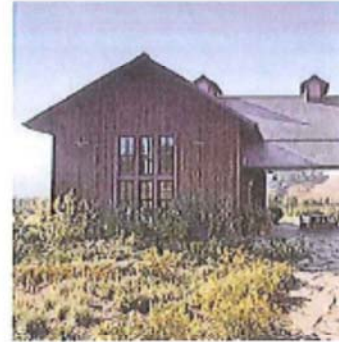
Timber-frame and/or post-and-beam should inform the structure of buildings of the Public and Open-Air Market. These construction methods reduce the need for load-bearing walls and allow for transparent planes of glass showcasing views or strengthening indoor/outdoor relationships.





## 5.2 Massing & Scale

Each building should be composed of at least three (3) distinct building masses, each varying in height from adjacent masses. Dominating building masses are discouraged. Covered exterior spaces –including openings in building massing and covered walkways between buildings – are encouraged.



## 5.3 Inside/Outside Relationships

Architecture of the Public and Open-Air Market celebrates the relationship between inside and outside spaces. As such, programmatic elements such as courtyards, patios and/or spaces enclosed by walls, screens and gates are encouraged to maximize the integration of architecture and outside public/semi-public space. Buildings should be designed to accommodate temporary expansion of commercial program to occupy outdoor spaces, using large openings where appropriate.

Framed views should be considered and, where possible, incorporated into the architectural design of buildings. Large glazing punctuated with mullions, in particular, should be used to establish a visible relationship with the public realm. Where appropriate, large doorways and/or multi-paned industrial glazing shall provide viewing areas to inside activities.



## 5.4 Roofs & Materials

Iconic forms of this architectural vernacular feature distinct, silhouetted clearstorey rooflines (high-relief, repetitive roof forms with dormers built into the steeply-pitched sides), horizontal sign bands, parapets, and awnings. The basic elements, materials and shapes are utilitarian and industrial in nature – square and horizontal windows, metal bracing and geometric volumes – but create visual interest through varied rooflines and massings. Roof lines can be accentuated by the use of pitched or curved surfaces. Pitched roofs with ridge beam centres, mixed hip and gable roof forms, deep overhangs and/or covered porches/patios are strongly encouraged. Flat roofs are generally not supported, unless used in support of main roofs.

A variety of roof materials are allowed provided they are complimentary to the overall architectural design. Metal roofs are permitted, assuming they are designed to mitigate reflectivity and do not cause objectionable glare. Painted metal roofs are suitable provided they have a matte finish. Clay, slate or concrete tile roofs are permitted utilizing flat or raked tiles in earth tone colours. Asphalt tiles should be mixed or blended to be natural in appearance, colour, and texture. Cedar shingle and/or shake roofs are encouraged.



## 5.5 Architectural Features

Architectural features – including elements such as narrow storefronts, clock towers, chimneys, lanterns and belfries – are encouraged to differentiate individual buildings within the Public and Open-Air Market while providing visual interest. Architectural features must be functional and should be finished in materials complimentary to exterior finishes.

## 5.6 Exterior Building Materials, Cladding & Colour Palette

Where feasible, natural building materials should be incorporated into the architectural design. The use of local stone / stone veneer is encouraged. Stones used on the corners of a building should avoid the appearance of a thin veneer. Large timbers may be used as structural and aesthetic elements in a post and beam fashion. Building cladding shall be textured and may include shingle and/or hardi-board style siding and/or board-and-batten techniques or variations in horizontal wood siding. Wood siding, trim and soffit material is acceptable. Limited use of stucco – including more traditional applications and textures – are permitted. Steel and glazing may be used in a complementary fashion and ideally in conjunction with wood products. Limited use of steel may be used on exterior façades.

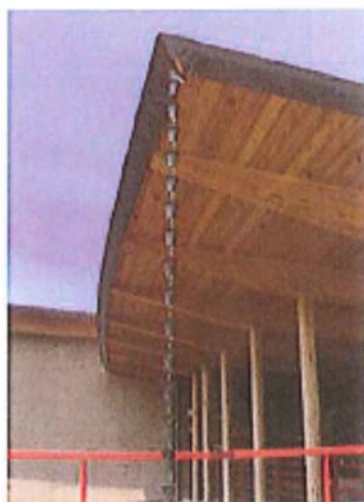
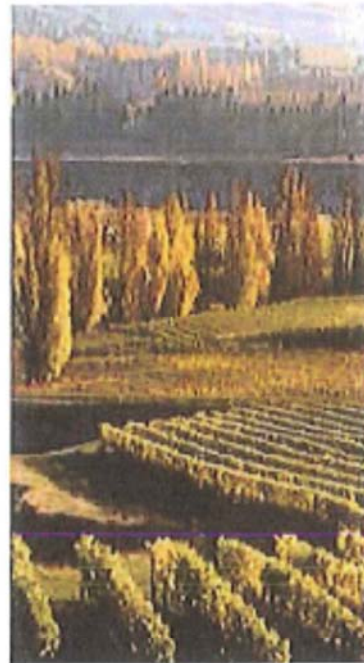
All exterior building finishes shall incorporate two (2) or more materials. Other visible exterior details such as rafter tails, knee braces and supporting external posts (i.e. for canopies) convey a traditional building character and shall be encouraged. Blank walls are strongly discouraged.

Building bases (exposed foundation walls) should act as an anchoring element and promote a sense of permanence. As such, exterior finish materials on all building walls and screen walls should extend to finish grade to eliminate unfinished foundation walls.

The colour palette for the Public and Open-Air Market shall be derived from and inspired by the agricultural landscape, including rich earth tones and agricultural vegetation of warm greys, reds, yellows, umbers, browns and moss greens.

## 5.7 Green Building Technologies

Architecture and building construction at the Public and Open-Air Market should promote sustainable building technologies and address issues including, but not limited to: energy consumption related to heating and cooling of buildings; indoor air quality; water conservation; stormwater management; and mitigation of heat-island effects.



## 6 LANDSCAPE DESIGN

**Statement of Intent:** Landscape design at the Public and Open-Air Market serves to unify architectural elements and the public realm through the use a program-appropriate plant palette, while integrating built form into the site's natural boundary with the Mission Creek greenway.

**Rationale:** Landscape materials local to the Okanagan form a rich palette for landscape design in support of the Public and Open-Air Market program. Landscape design can assist in the creation well-detailed public spaces by providing visual interest, quality and continuity of structural and landscape/ planting design elements.

Landscape design at the Public and Open-Air Market should satisfy the following objectives:

- a) Provide protection from sun, wind and other climatic elements, where desired;
- b) Utilize a variety of native or similarly hardy, drought tolerant plant species;
- and c) Incorporate a variety of plant materials varying in height and shape that are easily pruned to maintain sightlines;
- d) minimize water consumption and / or utilize greywater in irrigation systems;
- e) enhance the aesthetic appeal of the Public and Open-Air Market;
- f) assist in the safe movement of pedestrians throughout the site; and,
- g) reduce the amount of impervious surfaces on the site.



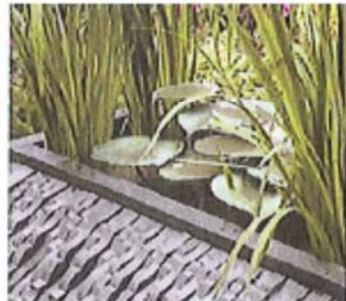


## 6.1 Plant Palette & Functional Use of Plants

Feature landscape design should emphasize a predominantly native (or similarly hardy) plant palette as a means to relate directly to the local / native landscape of Kelowna.

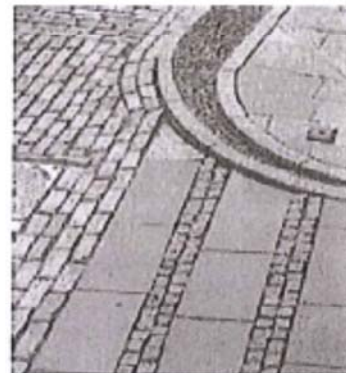
Best adapted to the climatic extremes of hot, dry summers and cold winters, native plants can be utilized within landscape design to create more enjoyable outdoor environments while supporting overall sustainable design / green building objectives:

- > **Shading & Energy Conservation:** Vines on trellises may be an effective way to introduce shade structures within public gathering spaces and / or along pedestrian walkways. The use of plants to moderate building temperature and shield windows from direct solar radiation during peak loads is encouraged. Particular emphasis should be placed on south and west facing exposures.
- > **Wind Control:** Placed to intercept prevailing winter winds, planting design can create more protected outdoor environments while improve energy efficiency within buildings by reducing cold air infiltration.
- > **Water Conservation:** The use of drought resistant plantings reduces water use for irrigation. Preference should be given to low-maintenance selections requiring little or no irrigation.
- > **Stormwater Management:** The design of rain gardens and landscaped infiltration areas for stormwater management helps reduce the visual impact of large, impervious (paved) surfaces while filtering and infiltrating rainwater on site.



## 6.2 Hardscape

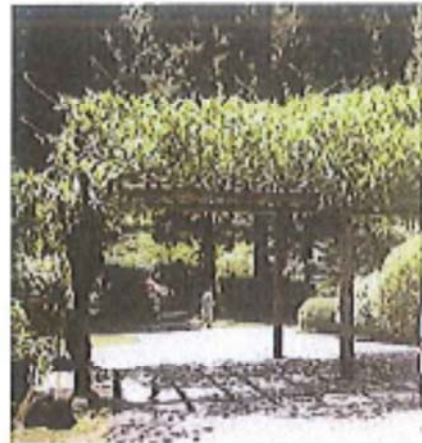
Landscape design should incorporate local materials, where feasible. Material selection should emphasize, robust, durable, and weather-resistant composition and construction, consistent with local architectural vernacular and design objectives of the Public and Open-Air Market. Materials may contain timber, synthetic wood composite (in plank form), powder-coated, galvanized and/or oxidized metal finishes, natural materials such as stone, and durable materials such as board formed and sand-blasted concrete and aggregates. For feature paving / plaza areas, natural stone and / or landscape pavers are encouraged. Large expanses of asphalt pavement are discouraged, especially in areas frequented by pedestrians.



## 6.3 Landscape Structures & Fences

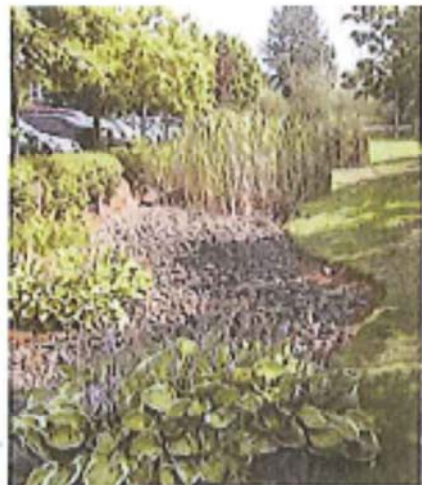
The incorporation of landscape structures – including pergolas, trellises, screen walls, feature walls and/or ornamental gates – that relate to and are natural extensions of the buildings are encouraged. The style, materiality and colour of all landscape structures should be consistent with the overall spirit of the design guidelines.

Fences – where required – should provide visual interest and be constructed at a pedestrian scale. Fences through which views are not possible (solid fences) are discouraged. Where required, solid fences should not be greater than 1.2m in height and should be accentuated by a vertical element (e.g. piers placed at not less than every 4.5m). Chain link fence shall be used only when screened by landscaping.



## 6.4 Screening

All passive occupancies (i.e. service access / parking, mechanical/utility rooms and storage areas) should be separated / screened from active occupancies. A combination of screen walls and landscape / planting treatments is encouraged.



## 6.5 Stormwater Management

The amount of stormwater runoff should be minimized through appropriate site design. The use of permeable pavers and design of rain gardens / bio-swales should be incorporated to filter and infiltrate stormwater onsite.



## 6.6 Retaining Walls

Where required, retaining wall height should not exceed 1.2m and should be accentuated by a vertical element (e.g. piers placed at not less than every 4.5m) and/or seating niche. Retaining walls made from local stone or rock are preferred.

## 7 WAYFINDING

**Statement of Intent:** The cumulative physical expression of site layout, architecture, public realm and landscape design at the Public and Open-Air Market should enable all users to orientate and navigate the site and associated market program with ease.

**Rationale:** Wayfinding within the Public and Open-Air Market should be considered from the initial phases of site programming and layout, to the development of architectural features, to discrete signage and lighting. Taken together, all of these cues can facilitate a series of interrelated indoor and outdoor spaces, intuitively navigated according to physical form, programmatic function and material character.

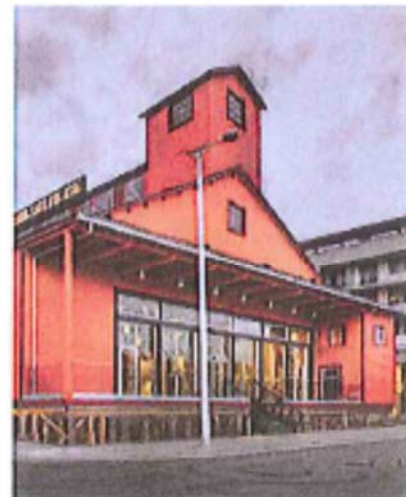
Wayfinding at the Public and Open-Air Market should satisfy the following objectives:

- a) Provide clear visual linkages throughout the site to support ease of orientation and navigation;
- b) Utilize well-designed, discrete signage for all users; and,
- c) Incorporate exterior / accent lighting to support wayfinding within the site after daylight hours.

### 7.1 Visual Linkages

Visual linkages to defining elements such as prominent internal / external views, architectural and public realm elements and landscape features, public art, and other prominent natural and man-made landmarks to assist in site navigation should be incorporated into the design of the site.

Architectural features, such as prominent and/or tower elements, oversized doors, and archways are further identified via feature paving patterns, landscape structures and feature plantings as a means to assist in the understanding of site program and circulation.



## 7.2 Signage



All signage design and placement – including freestanding Public and Open-Air Market marquee signage, individual business / tenant fascia signs, vehicular and pedestrian signage – should complement the overall design of the public realm, site architecture and landscape design, consistent with the spirit of the design guidelines. The use of natural materials for signage is encouraged.

Garish signage – including large-format neon, changeable copy, animated or electronic signs or billboards – will not be permitted on the site or upon or within any structure. Subtle use of neon and/or backlit signage may be permitted in keeping with overall design guidelines.

Vehicular signage will be limited, providing basic wayfinding to vehicle corridors including Benvoulin and Springfield Road. Pedestrian signage should be provided at key locations and in high traffic areas to orient people within the site and navigate from place to place. Wayfinding signage should incorporate a system of tactile information to meet the needs of individuals with visual impairment including textural and colour contrasting and warning signals and clues related to orientation and navigation.

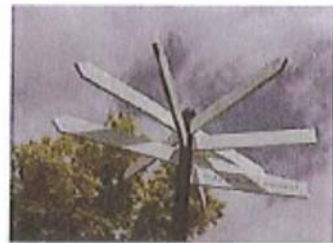


## 7.3 Lighting

Exterior lighting adds character and structure to a building façade and should be encouraged. The use of indirect and/or accent lighting on signage is encouraged.

Fixtures should be reflective of human-scale design and add daytime visual interest to building facades. Illumination should be planned as a key element in a façade's design and architectural character of the building, as well as impacts on adjoining buildings and /or public realm.

Lighting should be designed in accordance with "dark sky" guidelines to improve safety, minimize glare and preserve the ambiance of the night sky. Exterior lighting designs should incorporate shielded fixtures and/or mounting heights, as well as be aimed appropriately to minimize glare. Lighting should be designed for high-quality environmental performance, and promote public safety. Lighting should help to clearly identify principal building entrances. Illumination levels should instill high levels of psychological comfort for persons using each entrance, pedestrian corridor and parking area.



## 7.4 Crime Prevention Through Environmental Design

All aspects of the buildings and the site should be consistent with the City of Kelowna Crime Prevention Through Environmental Design Guidelines.



## 8 CIRCULATION

**Statement of Intent:** Circulation within the Public and Open-Air Market should accommodate the safe and efficient movement of all users – from automobile traffic and service vehicle access to cyclists and pedestrians, including requirements for universal accessibility.

**Rationale:** The Public and Open-Air Market seeks to implement a physical design that reduces vehicle speed throughout the site as a means to create a pedestrian-focused 'village'-styled market. While maintaining efficient access for service vehicles and automobile traffic, design of circulation for pedestrian priority will best support the desired market program and function.

Circulation at the Public and Open-Air Market should satisfy the following objectives:

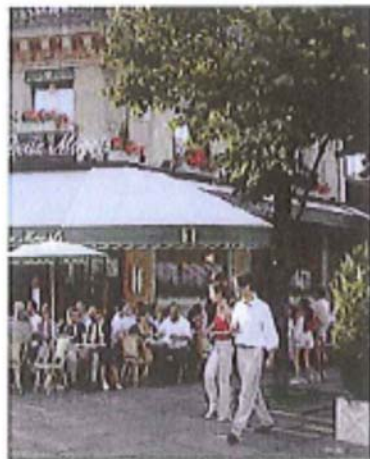
- a) Promote Shared Space design and the prioritization of pedestrian users;
- b) Adhere to Universal Design standards, providing an accessible Public and Open-Air Market; and,
- c) Provide pedestrian / cycling linkages to adjacent neighbourhoods and the Mission Creek Greenway.

### 8.1 Shared Space

The design of vehicular and pedestrian circulation within the Public and Open-Air Market should promote the concept of Shared Space, whereby a street and / or plaza accessible to both pedestrians and vehicles is designed to enable pedestrians to move more freely by reducing traffic management features that tend to encourage vehicles to assume priority.

### 8.2 Accessibility & Universal Design

Universal Design refers to product, site, and building design and construction that accommodates the functional needs of all individuals, including anyone with physical challenges to their mobility. All building entries and public realm elements should be designed to be consistent with the City of Kelowna Guidelines for Accessibility in Outdoor Areas and address the principles of universal design by meeting high standards of accessible and adaptable design.



### 8.3 Pedestrian & Cyclist Considerations

Pedestrian sidewalks and pathways should provide direct connections between building entrances, parking areas and sidewalks/pathways of adjacent streets. Continuous weather protection over main entrances and building facades are encouraged.

All pedestrian walkways shall be visually distinguished from driving surfaces through the use of a clearly delineated pathway or durable, low maintenance surface materials such as pavers, bricks, or concrete to prioritize and enhance pedestrian safety and comfort. The use of curbs or raised barriers shall be discouraged.

Bicycle parking facilities should be provided at grade, within convenient distance of primary building entrances. Where appropriate, "end of trip" facilities and sheltered locations for bicycle storage/security should be considered.



## 9 PARKING & SERVICE ACCESS

**Statement of Intent:** Parking and service access shall be provided to support the commercial program / operation of the Public and Open-Air Market while balancing the objectives of pedestrian-friendly public realm design.

**Rationale:** The provision of convenient and adequate parking is critical to the ultimate commercial use of the Public and Open-Air Market. In addition, the physical design of all parking provided and access of service vehicles must blend in with the overall form, character and function of the Public and Open-Air Market.

Parking, loading and service access at the Public and Open-Air Market should satisfy the following objectives:

- a) Minimize visual / aesthetic impacts of surface and underground parking areas in support of a pedestrian-oriented 'village' market experience; and,
- b) Design parking and service access to minimize conflict with pedestrian circulation.

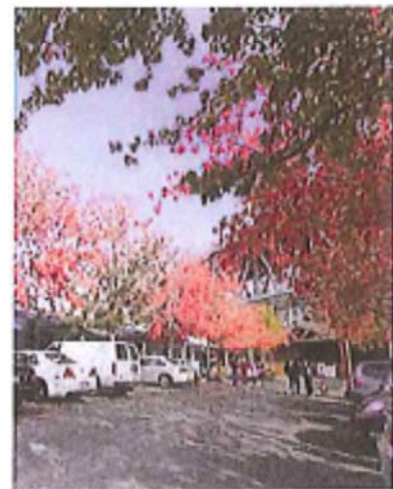
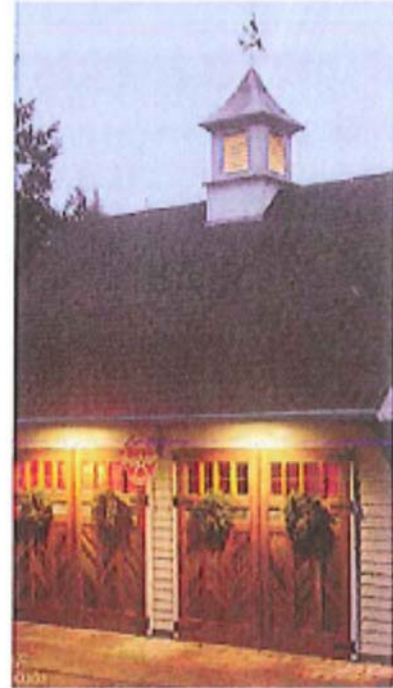
### 9.1 Parking & Access

Parking areas should receive a high degree of visual treatment through the provision of soft and hard landscaping elements, including provision of shade trees. Where the pedestrian path of travel crosses a surface parking area or a path of vehicular travel, the pedestrian path of travel should be continuous and clearly identified. This can be accomplished with the use of materials different from the vehicular surface material.

Entrances to parking garages should be easy to identify, but should not be visually predominant. Garage entrances and garage doors should be architecturally integrated into the overall building design.

Vehicular access to/from parking areas that crosses a pedestrian pathway should have a minimum stacking distance equal to one car length behind the path of pedestrian travel to avoid conflict. The gradient within this zone should not exceed 5% to preserve sightlines. Landscaping and/or any element of the building within this zone should not restrict views of approaching pedestrians or vehicles.

Pervious parking surfaces are encouraged wherever feasible to contribute to low impact development stormwater management.



## 9.2 Service Access (Loading Areas)

Service access areas, associated vehicular paths to these areas and all parking associated with or connected to these areas should be hard-surfaced. Service areas and/or loading areas should be clearly identified with discrete signage and physically separated and/or screened from principal building entrances, unless otherwise required by the commercial program.

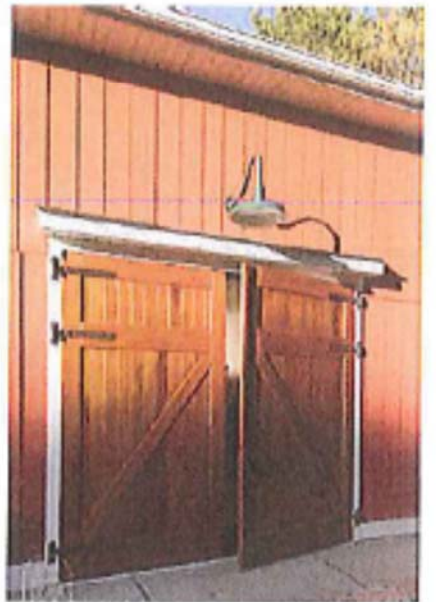


Figure 1: Illustrated Site Development Plan

- 1 EASTSIDE - Public Market
- 2 The Greenery  
Commercial Retail/ Studio
- 3 Mission Crossing Spirits  
Winery, Cider & Brewery
- 4 The Yard  
Nursery & Landscapes Supply
- 5 Central Market Hall  
Permanent Public Market
- 6 Gamehouse Live/Work Studios  
Commercial Retail/Market Administration
- 7 Artisan Mews  
Residential Townhomes
- 8 Mission Creek Green  
Public Gathering Space / Performance
- 9 EASTSIDE - Open-Air Market
- 10 Market Pavilion  
Shedded Studio / Public Washrooms / Storage
- 11 Open-Air Market  
Market / Parking
- 12 Mission Creek Regional Park Trailhead  
Gateway / Public access / Parks & Recreation



Note: Not to be used for planning purposes only. All dimensions, areas and measurements are for illustrative purposes only.

## CD24 – Comprehensive Development Zone

### 1.1 Purpose

The purpose is to provide for the integrated design of a comprehensive mixed-use development which includes tourist commercial and residential uses.

### 1.2 CD24 Lands

The CD24 Lands consist of two Sub-Areas A and B inclusive (“CD24 Sub-Areas”) as shown on Plan HW-1. The boundaries of Areas A and B will generally conform to Plan HW-1.

### 1.3 Regulations

In the CD24 Comprehensive Development Zone, regulations may be different for each CD24 Sub-Area as set out in the CD24 Sub-Area Zoning as shown on Schedules 1 and 2.

### 1.4 General Regulations of the Comprehensive Site

- (a) **Section 6 – General Development Regulations** of this bylaw applies;
- (b) **Section 7 – Landscaping and Screening** of this bylaw applies;
- (c) **Section 9 – Specific Use Regulations** of this bylaw does not apply with the exception of:
  - Sub-Section **9.2 – Home Based Business, Minor**;
  - Sub-Section **9.3 – Home Based Business, Major**.
- (d) The CD24 Comprehensive Development Zone has been designated as a Development Permit Area by “Kelowna 2030 – Official Community Plan Bylaw No. 10500” for the purpose of guiding the form and character of development. The guidelines applicable to the CD24 Comprehensive Development Zone are annexed to this Bylaw as Annexure “1” and entitled “CD24 Comprehensive Development Area Design Guidelines”.

### 1.5 Site Coverage

- (a) The maximum **site coverage** is 40%, provided that the maximum **site coverage of buildings**, driveways, and above ground parking areas is 50%.
- (b) Parking structures located above natural finished grade and surfaced with landscaping or useable open space shall not be included in the calculation of site coverage.

### 1.6 Other Regulations

- (a) A total of fifty (50) purpose-built rental units shall be included in the CD24 zone prior to the completion of 570 units.
- (b) No commercial uses shall be located beyond 250 metres of Lakeshore Drive frontage.

## 1.7 Parking and Loading

- 1.7.1 Loading facilities shall be designed in accordance with the loading regulations of **Section 8 – Parking and Loading** of this bylaw, with the exception that the minimum number of loading spaces required must be in accordance with **Table 2** of this CD24 Zone.
- 1.7.2 **Parking spaces** shall be designed in accordance with the parking regulations of **Section 8 – Parking and Loading** of this bylaw, with the exception that the minimum number of **parking spaces** required must be in accordance with **Table 1** of this CD24 Zone.
- 1.7.3 Bicycle parking shall be provided in accordance with the bicycle parking regulations of **Section 8 – Parking and Loading** of this bylaw.
- 1.7.4 Co-op cars or pool cars provided for shared use by residential development shall equate to five parking stalls per pool car provided. A maximum of 10 pool cars can be used for parking stall credits within the zone. The provision of pool cars shall be considered as part of a Development Permit and will be secured by way of agreement with the developer.

**Table 1: Parking**

Use	Minimum Parking Space Requirement
Commercial	2.5 spaces per 100 m <sup>2</sup> Gross Floor Area
Residential	1.4 spaces per dwelling unit / 3 bedroom apartment 1.2 space per dwelling unit / 2 bedroom apartment 1.0 spaces per dwelling unit / 1 bedroom apartment 0.8 spaces per dwelling unit / studio apartment 1.55 spaces for dwelling unit/ 3+ bedroom townhouse unit 1.35 spaces per dwelling unit/2 bedroom townhouse unit 1.10 spaces per dwelling unit/ 1 bedroom townhouse unit Additional parking shall be designated for residential visitor parking at a rate of 1 space for every 7 dwelling units
Supportive Housing	1 space per three bed spaces
Hotels	0.75 spaces per sleeping unit
Hotel Ancillary Uses (restaurant/lounge, conference/meeting rooms, retail shops)	4.0 spaces per 100 m <sup>2</sup> of Gross Floor Area

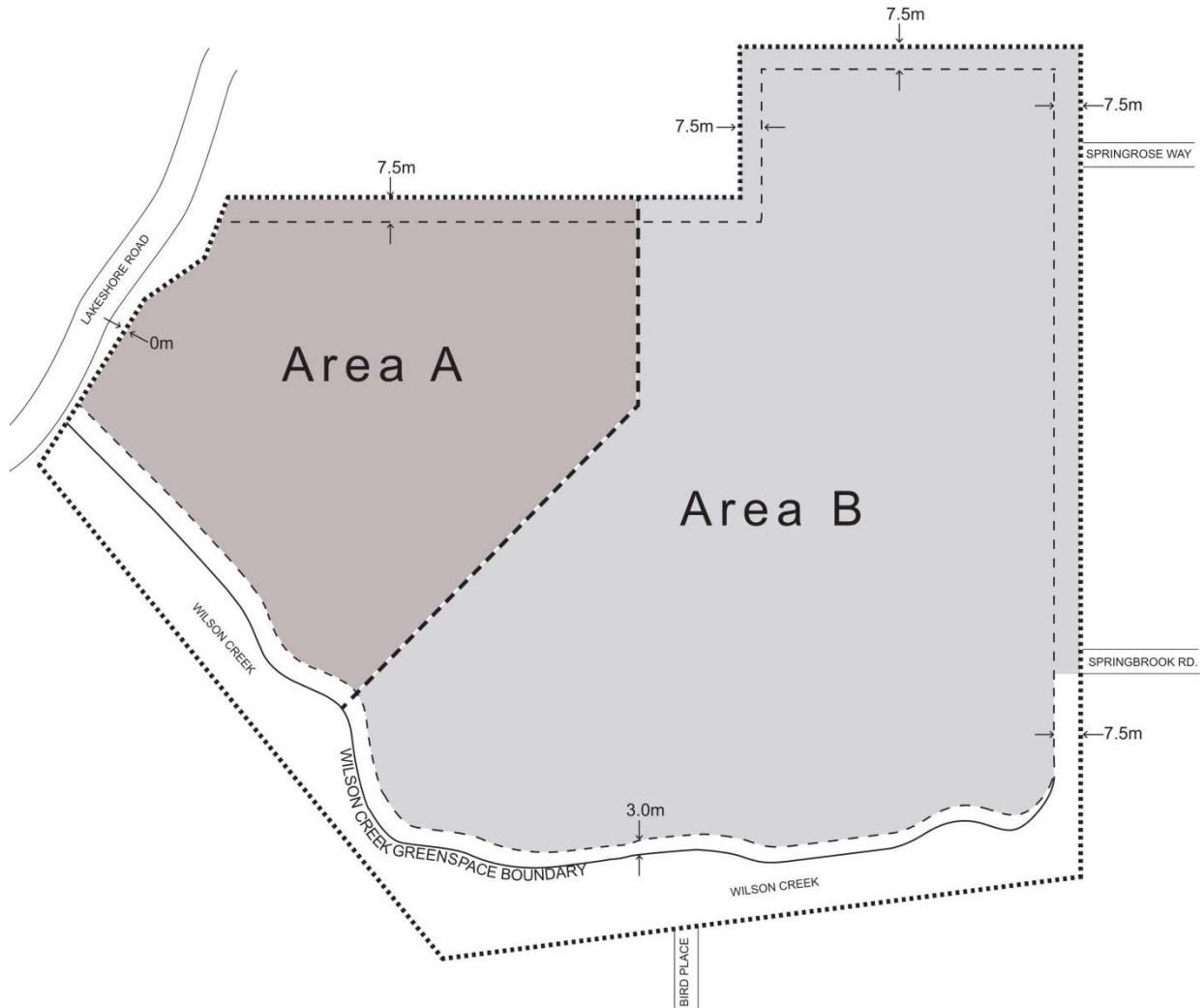
**Table 2: Loading**

Use	Minimum Parking Space Requirement
Commercial/Hotel	2 Large scale loading stalls 1 per 2,800 m <sup>2</sup> gross floor area

## 2.1 Subdivision Regulations

- (a) Each lot created that is serviced by the common lot access shall have a minimum frontage on the common lot access of 10 metres
- (b) Area B minimum lot width is 25 metres
- (c) Area B minimum lot depth is 30 metres
- (d) Area B minimum lot area is 750 m<sup>2</sup>
- (e) At the time of subdivision, a Section 219 Restrictive Covenant will be registered on all properties indicating the allocation of I Net Floor Area to each of the lots being created. The sum of all allocation covenants cannot exceed 90,990 m<sup>2</sup> or 1.25 FAR.

PLAN HW-1



**SCHEDULE 1 – CD24 SUB-AREA A ZONING****7.1 Purpose**

The purpose of Sub-Area A is to provide a mix of tourist commercial and residential uses.

**7.2.1 Principal Uses**

The **principal uses** in this Sub-Area are:

- a) **apartment hotels**
- b) **boarding or lodging houses**
- c) **congregate housing**
- d) **group home major**
- e) **hotels**
- f) **motels**
- g) **multiple dwelling housing**
- h) **supportive housing**
- i) **tourist campsites**

**7.2.2 Secondary Uses**

- a) **agriculture, urban**
- b) **boat storage (only within an enclosed building or structure)**
- c) **care centre major**
- d) **community recreation services**
- e) **financial services**
- f) **food primary establishment**
- g) **health services**
- h) **liquor primary establishment , major**
- i) **liquor primary establishment, minor**
- j) **liquor primary license**
- k) **non-accessory parking**
- l) **home based business minor**
- m) **offices**
- n) **participant recreation services, indoor**
- o) **personal services establishments**
- p) **retail liquor sales (establishments)**
- q) **retail store, general**

**7.3 Density**

- a) Area A has a maximum F.A.R. of 1.5. The overall site density shall not exceed a Net Floor Area of 90,990 m<sup>2</sup> or an F.A.R. of 1.25 calculated on the gross site area, whichever is the greater.
- b) Area A has a minimum ground floor commercial area of 2,500 m<sup>2</sup>.
- c) A minimum of 50% ground floor commercial area within Area A must front Lakeshore Drive.

## 7.4 Height

The maximum **height** of one **building** within Area A shall be the lesser of 36 metres or 11 **storeys**, not including rooftop mechanical penthouse, antenna or other ancillary structures. For all other buildings in Area A, the maximum height should be the lesser of 33 metres or ten (10) **storeys**, not including rooftop mechanical penthouse, antenna or other ancillary structures.

### 7.5.1 Site Setbacks

#### *Perimeter Property Line Setbacks*

- a) South Side – 3.0 metres from the boundary of the Wilson Creek green space for any **buildings** and **structures** less than 15 metres in **height**. All portions of **buildings** and **structures** above 15 metres in **height** will require an additional 1.5 metre setback for a total of 4.5 metre setback from the boundary of the Wilson Creek Green Space.
- b) North Side – 7.5 metres for all **buildings** and **structures** up to 10 metres in **height**; 15 metres for any **buildings** and **structures** greater than 10 metres in **height**.
- c) West Side / Lakeshore Road Frontage – 0.0 metres for 50% of the **frontage** and 3.0 metres for 50% of the **frontage** for any **buildings** or **structures** under 10 metres in **height**. 3.0 metres for any portion of **buildings** or **structures** above 10 metres in **height**. Notwithstanding this provision, architectural features that are less than 25% of the building face width may encroach into the 3.0 metre setback requirement, to a maximum of 1.5 metres.

### 7.5.2 Internal Site Setbacks

- a) The site is intended to be subdivided further into individual parcels served by a common lot access road. The minimum setbacks for all internal parcels are:
  - i. 0 metres for all parking structures;
  - ii. 0 metres for front yard setback; and
  - iii. 3.0 metre setback from all internal side and rear yards.

## 7.6 Private Open Space

A minimum area of 7.5 m<sup>2</sup> of private open space shall be provided per **bachelor dwelling, apartment hotel unit, or congregate housing bedroom**; 15 m<sup>2</sup> of **private open space** shall be provided per **1 bedroom dwelling**, and 25 m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than **1 bedroom**, except for hotel where no minimum private open space is required.

## 7.7 Other Regulations

- a) The maximum site area of Sub-Area A is 35,000 m<sup>2</sup>.
- b) Financial services use shall not have a floor area greater than 280 m<sup>2</sup>
- c) Health services and office uses shall not have a cumulative floor area that exceeds 500 m<sup>2</sup>
- d) Retail store, general use shall be limited to a maximum single tenancy of 1,400 m<sup>2</sup>

**SCHEDULE 2 – CD24 SUB-AREA B ZONING****8.1 Purpose**

The purpose of Sub-Area B is to provide multi-family residential housing.

**8.2.1 Principal Uses**

The **principal uses** in Sub-Area B are:

- a) **congregate housing**
- b) **group home major**
- c) **multiple dwelling housing**
- d) **supportive housing**

**8.2.1 Secondary Uses**

The **secondary uses** in Sub-Area B are:

- a) **agriculture, urban**
- b) **boarding or lodging houses**
- c) **care centre major**
- d) **care Centre, major**
- e) **non-accessory parking**
- f) **community recreation services**
- g) **home based business, minor**

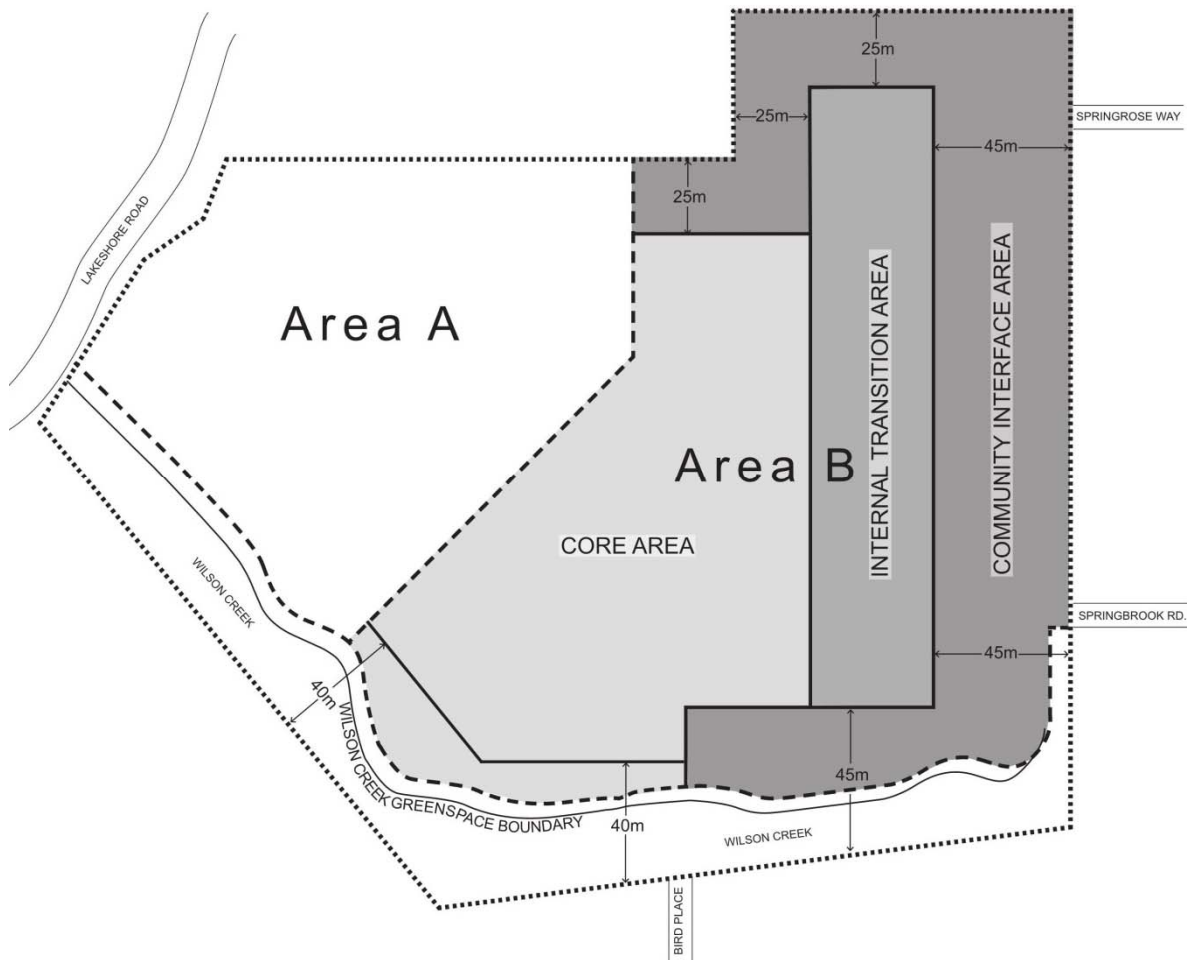
**8.3 Density**

Sub-Area B has a maximum density of 1.20 F.A.R. In addition, the overall site density shall not exceed a Net Floor Area of 90,990 m<sup>2</sup> or an F.A.R. of 1.25 calculated on the gross site area, whichever is the greater.

**8.4 Height**

For the purposes of **height**, Sub-Area B will be made up of three (3) distinct areas as illustrated on Plan HW-2. **Building heights** within the Community Interface area shall be the lesser of 11.5 metres or 3.5 **storeys**. **Building heights** within the Internal Transition area shall be the lesser of 20.5 metres or 6 **storeys**. **Building heights** within the Core Area shall be the lesser of 29.5 metres or 9 **storeys**.

PLAN HW-2



## 8.5 Site Setbacks

### *Perimeter Setbacks*

- a) South Side – 3.0 metres from the boundary of the Wilson Creek green space for any **buildings** and **structures** less than 15 metres in **height**. All portions of **buildings** and **structures** above 15 metres in height will require an additional 1.5 metre setback for a total of 4.5 metre setback from the boundary of the Wilson Creek green space.
- b) North Side – 7.5 metres for all **buildings**.
- c) East Side – 7.5 metres for all **buildings**.

### *Internal Setbacks*

- a) The site is intended to be subdivided further into individual parcels served by a common lot access road. The minimum setbacks for all internal parcels are:
  - o 0 metres for all parking structures;
  - o 2 metres from the fronting road, and
  - o 3.0 metres from all side and rear yards.

## 8.6 Private Open Space

A minimum area of 7.5 m<sup>2</sup> of private open space shall be provided per **bachelor dwelling or congregate housing bedroom**; 15 m<sup>2</sup> of **private open space** shall be provided per **1 bedroom dwelling**; and 25 m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than **1 bedroom**.

## 8.7 Other Regulations

- a) The maximum site area of Sub-Area B is 60,000 m<sup>2</sup>.
- b) The uses set within Section 8.2 are only permitted provided that off-street vehicular parking and off-street loading must be screened from public view with a minimum 2.0 metre landscape buffer. This buffer can be reduced to a 1.0 metre width when provided in combination with a decorative fence or wall with a minimum height of 1.2 metres. A minimum of 50 family-oriented **dwelling**s shall be included in Sub-Area B prior to the completion of 400 residential units. Family-oriented dwellings, for purposes of this zone, are defined as a **dwelling** suitable as a residence for a **household** with children which meets the following criteria:
  - i. The lowest **storey** of the **dwelling** is no higher than the third storey of the building;
  - ii. The **dwelling** has two bedrooms or more, and the average number of bedrooms per **dwelling** is not less than 2.25 for all such dwellings in a development;
  - iii. The **dwelling** has individual and private access to grade, except that in the case of stacked row housing access to **dwelling**s above the first **storey** may be shared by two **dwelling**s. In the case of **apartment housing**, access to **dwelling**s above the first storey may be shared, provided that entrances to not more than six **dwelling**s are located on any one **storey** or landing.



ANNEXURE 1

# CD24 COMPREHENSIVE DEVELOPMENT DESIGN GUIDELINES

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# INTRODUCTION AND OVERVIEW

The development envisioned under the CD24 zone is to be a place where a sense of community thrives and pride in the neighbourhood is evident.

The CD24 development will be an inviting and sustainable mixed-use commercial residential neighbourhood that will support the tourism potential of this unique area of Kelowna. The overall vision for CD24 is forward thinking; incorporating principles of smart growth development, a high level of urban design and best management practices for sustainability. The following are the over-arching development objectives for CD24:

- ≈ Promote the City of Kelowna's vision for new communities and development, as outlined in Chapter 5.0 of the 2030 Overall Community Plan (OCP): *develop in a sustainable manner; focus development in established growth areas; ensure appropriate and context sensitive built form; create a sense of community; provide high quality urban design; create opportunities for greater pedestrian, active transportation and public transit use.*
- ≈ Promote the creation of a *Complete Communities and Compact Urban Form* that combines a variety of residential building types with a tourism based commercial and retail component that is responsive to the surrounding context.
- ≈ Promote a pedestrian-oriented lifestyle community that integrates mixed-use development with park-like open spaces that are inter-connected by pathways both internally and externally.



SITE PLAN



MIXED USE – COMMERCIAL TOURISM



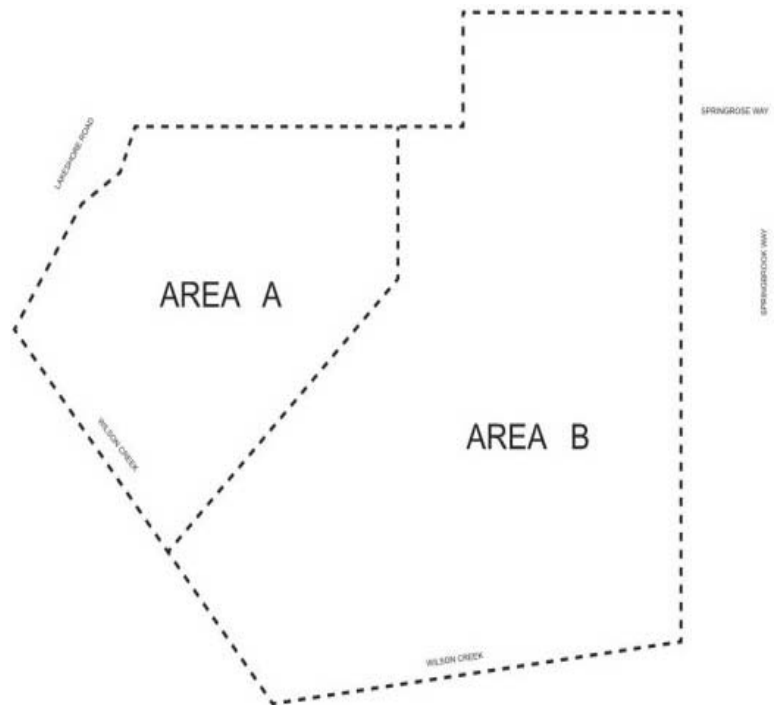
SUSTAINABILITY

- ≈ Promote the construction of energy efficient buildings and best management practices with regards to sustainability initiatives for community design, energy efficiency, reduced water consumption, active transportation, increased biodiversity and preservation of ecology.

The following *Design Guidelines* will ensure a harmonious understanding of the ‘vision’, with a strong focus on environmental, economic and social sustainability.

### 1.1 USING THE DESIGN GUIDELINES

These Design Guidelines form part of a Comprehensive Development (CD24) agreement that will shape the future of this multi-phased mixed-use development. The site has been divided into two distinct areas (Area A and Area B). Area A has both residential and commercial uses and Area B has only residential uses. As such, these guidelines have been structured to include overall guidelines for both Area A and Area B and commercial specific guidelines for Area A.



The intent of the Design Guidelines is to provide the following:

- ≈ Provide the framework that will be used by individuals preparing the form and character Development Permit applications relating to buildings and open spaces within the CD24 boundary.
- ≈ Assist the City of Kelowna's planning staff with individual Development Permit applications within the CD24 boundary.
- ≈ Provide general guidance as to the level of detailed design needed to ensure that each individual development is compatible with the overall urban design concept established for CD24 Zone.
- ≈ Provide, through high-level graphic examples, to illustrate potential applications of the design guidelines.

These guidelines are not intended to be the final form of development, but rather represent a 'conforming outline' to be used as a starting point for detailed design to build upon.

## 1.2 GUIDING PRINCIPLES

Guiding principles represent the larger planning and design objectives that are to be reinforced whenever possible during subsequent development stages.

### 1.2.1 LAND USE PRINCIPLES

- ≈ The development of the CD24 site will incorporate a mix of land uses including retail, commercial, hotel and residential with associated residential uses.
- ≈ Land use for the CD24 site has been allocated to two different areas ('Area A' and 'Area B').



RESIDENTIAL BUILDING

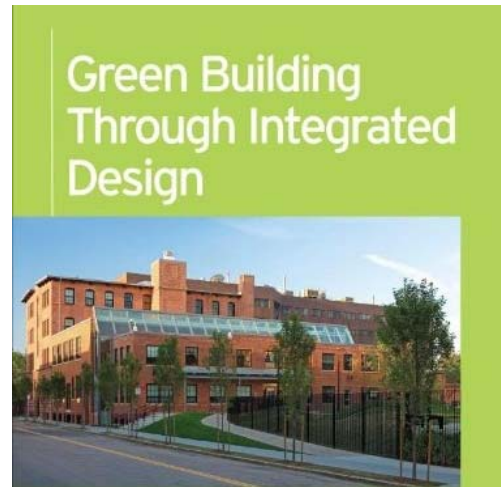


RESIDENTIAL BUILDING

- ≈ Area A's core land use will be tourism-based commercial that includes hotel and conference space, ground floor retail, and residential use located above retail. Commercial development will be complemented with an urban plaza space that accommodates some surface parking.
- ≈ Area A's building forms respond to the Lakeshore Road frontage and will have a landmark structure in terms of scale and architecture.
- ≈ Area B's land use will be residential, with no commercial or retail use, and will be complemented by an inter-connected network of landscaped open spaces.
- ≈ Area B's building forms will be mid-rise, multi-unit structures that step back in height from the site edges in response to adjacent existing residential.
- ≈ Vehicular traffic within the site will be accommodated by an internal road network, with limited surface parking and an easily accessible parking structure.

1.2.2 SUSTAINABILITY PRINCIPLES

- ≈ To promote higher density mixed-use development near existing communities and public infrastructure to reduce adverse environmental and public health effects associated with low density urban sprawl.
- ≈ To encourage the development of energy-efficient buildings by employing strict heating and cooling strategies that will reduce dependency on natural resources.
- ≈ To reduce pollution and flooding associated with major storm events through on-site stormwater capture and treatment to promote aquifer recharge and improve water quality by emulating natural conditions.
- ≈ To reduce energy consumption and pollution from motor vehicles by providing high levels of external connectivity and by encouraging alternative modes of transportation such as public transit, cycling, car sharing and walking.
- ≈ To promote a healthy lifestyle by providing safe, appealing and comfortable street, pathway and open space environments.
- ≈ To preserve water quality, natural hydrology, habitat, and biodiversity through conservation



GREEN BUILDING



ACTIVE TRANSPORTATION



COMMUNITY GARDENS

and rehabilitation of wetlands and Wilson Creek.

- ≈ To enable the widest spectrum of people, regardless of age or ability, to more easily participate in community life by incorporating principles of universal accessibility into the design process.
- ≈ To promote community-based food production, access to fresh produce, and improve nutrition through provision of community gardens.
- ≈ To limit or eliminate the use of potable water for irrigation by use of captured or recycled water for use in landscape irrigation.
- ≈ To minimize amounts of sod lawn provided and to use a planting palette of drought tolerant native, or native-adaptive, plant species to minimize water consumption for irrigation.

1.2.3 URBAN DESIGN PRINCIPLES

- ≈ It is the overall intent that the CD24 development site incorporates a high level of urban design and character into its buildings and outdoor open spaces that is responsive to the functional requirements of a mixed-use development, the site’s unique context, and the promotion of a pedestrian-oriented neighbourhood.
- ≈ Building and open space design should convey human scale, address pedestrian comfort and safety, and complement the surrounding community as well as existing buildings.
- ≈ Create opportunities for public open space as part of the development that is safe, of high-quality and human scale.
- ≈ Consider a road network as part of the public open space that will include amenities that promote pedestrian comfort and use.



MINIMAL SOD PLANTING



MIXED-USE – URBAN DESIGN



PEDESTRIAN FRIENDLY STREETSCAPE



TOURISM – COMMERCIAL

## 2.4 RESPONSE TO CONTEXT

- ≈ Development in Area A will have a strong urban character in the treatment of buildings and open spaces in response to the context of Lakeshore Road, Manteo Resort and other major commercial developments within the Cook Road Tourist Commercial Area.
- ≈ Development in Area B will have a residential character through scale and material treatment of buildings, landscape buffers and landscape treatment of open spaces that respond to the context of adjacent existing residential uses.
- ≈ Development in both Area A and Area B will respond to the highly naturalized character of the Wilson Creek wetland and riparian corridor by providing the required building setbacks from the City of Kelowna Wilson Creek Linear Park and accompanying environmental green space.
- ≈ Character of exterior spaces and selection of plant material is to transition from cultured (inside site) to natural (edge of site at environmental riparian zone).
- ≈ The character of buildings and public spaces within the CD24 site should celebrate that which is unique and distinctive about the Okanagan Valley by drawing inspiration from the region's natural and cultural landscapes.



WILSON CREEK



OKANAGAN INSPIRED LANDSCAPING

## 1.2.5 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

- ≈ Provide sufficient density to help ensure enough “eyes and ears” on the street.
- ≈ Improve public safety through the creation of public spaces that instill a sense of pride and ownership.
- ≈ Provide natural surveillance and sight lines to ensure unobstructed views in areas where public safety and pedestrian / vehicle conflicts will be a factor.
- ≈ Provide lighting at a sufficient enough level to uniformly light adjacent sidewalks so as to provide a high level of “psychological comfort and safety” for pedestrian use at night.

# OVERALL DEVELOPMENT GUIDELINES

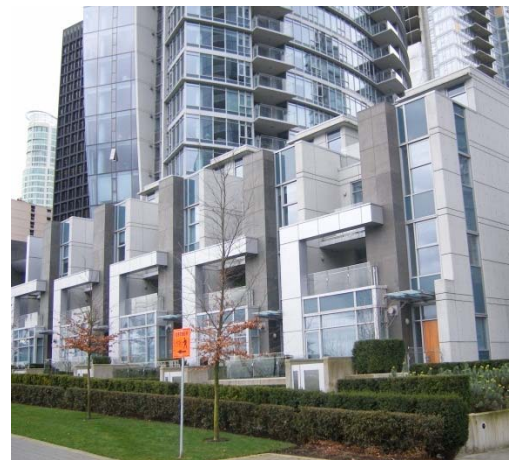
The following guidelines apply to both Area A and Area B. Additionally, at the end of each section, commercial specific guidelines for Area A only have been highlighted.

## 2.1. BUILDING SITING, MASSING AND PROPORTION

- ≈ In general, building massing will respond to adjacent existing land uses by stepping the heights of buildings from the edges of the site (lower building heights) to the core of site (higher building heights).
- ≈ Where residential buildings are situated in close proximity to each other, consideration should be given to stepping back the upper floors of the building to visually reduce the massing by expanding the horizontal relationship between the upper levels when compared to the lower levels.
- ≈ Consideration should be given at the site planning level to provide private open space at grade for each ground unit along with transitional landscaped open space from private to semi-private / semi-public space (see CD24 Comprehensive Zoning Bylaw for minimum private open space requirements).
- ≈ Buildings should be sited with sensitivity to future development on adjacent properties and in a way that promotes the creation of functional and interconnected outdoor spaces for residents within the community.
- ≈ Building siting should consider placement and orientation to maximize use of natural light in building design, and maximize view corridors to Wilson Creek while minimizing views into adjacent developments.



HOTEL CONFERENCE PODIUM



TOWER PODIUM ASSEMBLY



SUSTAINABILITY

- ≈ Buildings should demonstrate a high degree of human scale through emphasis of doors and windows and through appropriate choice of materials and surface detailing to create a rich visual interest at the pedestrian level.
- ≈ Building articulation refers generally to the exterior details and the arrangement of both specific and repetitive features. As it is not intended that the CD24 site be developed under one specific architectural theme, care and attention at the preliminary design stage should be made to ensure that different architectural styles be complementary in detail to each other.
- ≈ Building facades should have a balance of vertical and horizontal proportions.
- ≈ Vertical accents should occur on a regular basis to reinforce a pedestrian-scaled rhythm and are preferred for windows.
- ≈ Horizontally-extended glazed areas should be subdivided into vertically proportioned windows separated by mullions or building structure.
- ≈ Building siting and massing for structures over 2 stories should be comprised of a podium and a tower element.
- ≈ Building tower and podium should be perceived as assemblages of forms through overlapping of building elements to break-up massing. Homogenous building treatments that tend to create monolithic building massing are strongly discouraged.
- ≈ Building towers should be designed to help reduce perceptions of bulk as well as contribute to a distinct identity for the architectural expression of development.
- ≈ Towers should have a minimum 25 metre separation from any other tower, with the distance between buildings measured from the nearest vertical plane, not including balconies or building overhangs.



PEDESTRIAN LEVEL INTEREST



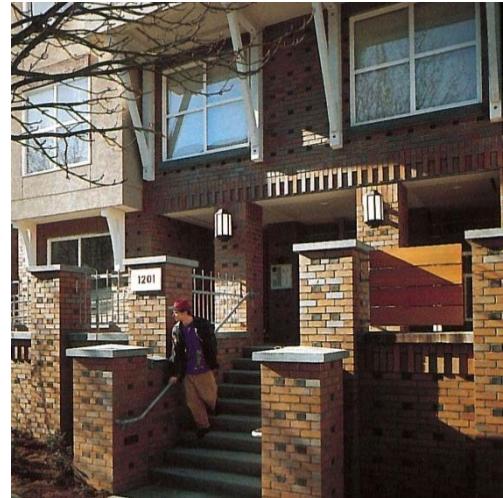
WILSON CREEK GREEN SPACE

## 2.2. BUILDING HEIGHTS AND SETBACKS

- ≈ The CD24 Zone prescribes minimum setbacks to the external property boundaries on the CD24 site.
- ≈ Building heights will step in response to the prescribed setbacks as outlined in the CD24 Zone Site Setbacks.
- ≈ Designated setback areas along the north and eastern property lines which are immediate to existing residential development should be primarily treated as semi-private to private space allowing for maximum landscape planting and screening and minimum pedestrian access.
- ≈ In residential units located at the ground level adjacent to the Wilson Creek Green Space, it is recommended that buildings be sited to maximize the potential for on-grade outdoor private patio spaces.

### 2.2.1 COMMERCIAL BUILDING HEIGHTS AND SETBACKS

- ≈ The podium for each building should be no more than 3 stories above grade.
- ≈ Where residential uses are proposed above retail or commercial uses, the first level of residential should be set back slightly further than the commercial or retail façade.
- ≈ Where buildings face the commercial piazza, floors above the first 2 stories should be slightly set back from the lower façade in order to create an appropriate pedestrian scale of building at the commercial level.
- ≈ The first 2 stories of a building is where design elements can be most effective to provide a human scale to the building, regardless of its overall size and massing. Lower levels should be designed to accentuate the horizontal elements and to provide a separation between the lower retail uses and upper mixed use levels.



INVITING ENTRANCES



COVERED ENTRANCES



UNIVERSALLY ACCESSIBLE MAIN ENTRANCE

### 2.3. BUILDING ENTRANCES

- ≈ All entrances should be inviting from the street and create a comfortable and welcoming experience through attention to details, proportions, materials, and lighting.
- ≈ Principal entrances should be easy to identify from the street or any adjoining public open space.
- ≈ If the principal building entrance is located within a courtyard/ garden space, there should be adequate address identification in close proximity to street or adjoining open space, and an appropriate walkway through the space to the main entry door.
- ≈ Principal entrances should include a canopy, overhang, portico or other similar structure to provide appropriate weather protection, without sacrificing visibility.
- ≈ Principal entrances should be universally accessible.
- ≈ Principal entrances should be in close proximity to a vehicular lay-by or drop off area, without compromising pedestrian safety.
- ≈ The building address should be clearly visible and located near the principle building entrance.
- ≈ The principal entrance should be designed so that it is secure and that visitors can be identified from within the building without opening the door.
- ≈ Secondary entrances and exits should be designed for safety and visibility.
- ≈ If the route of access to secondary entrances crosses through a courtyard / garden space or landscaped area, there should be a defined path.
- ≈ If a secondary entrance is not frequently used, the pathway does not necessarily have to be a hard surface. Crushed gravel could be an adequate treatment.

#### 2.3.1 COMMERCIAL BUILDING ENTRANCES

- ≈ Retail spaces should be easy to see into from the adjoining commercial plaza and outdoor space(s). A high degree of transparency should not preclude use of mullion patterns to add visual interest and human scale to the building.



BALCONY AND OVERHANG RESPOND TO CLIMATE



LANDSCAPED DECKS AND ROOFTOPS



SOLAR SHADING

2.4. BUILDING ROOFTOPS, BALCONIES, OVERHANGS, AND SOFFITS

- ≈ Buildings should be articulated with the aim of creating shadows through indentations and projections of elements within a façade composition on all sides – not just the front building elevation. (i.e. windows and doors, cornice lines, pilasters, balconies, and/or base-relief detailing).
- ≈ Buildings with flat roof areas, whether actively used or not, should be enhanced by use of texture, colour, and/or landscaping, especially when visible from habitable spaces above.
- ≈ Rooftops designed as active outdoor social spaces are encouraged and should be designed to withstand the weight of mature trees and plantings.
- ≈ All mechanical equipment and elevator penthouses should be integrated with the architectural treatment of the roof, or be screened with materials and finishes compatible with the building’s design.
- ≈ In response to a regional expression, building detailing should emphasize shade from summer sun with overhangs and recesses of sufficient depth that are appropriate responses to solar exposure.
- ≈ Upper levels of buildings should incorporate decks, balconies, or other building features as outdoor amenity space for occupants. Balconies should be designed to maximize outdoor living opportunities.
- ≈ Where appropriate, Green Roofs should be considered as a viable option to tar and gravel ballast roofs in response to sustainable building practices and the reduction of heat island effect on roofs.
- ≈ Any soffits or the underside of any portion of a building, including the undersides of balconies, within the first 2 stories and exposed to public view should be treated in a manner as to provide visual interest and show attention to detail.



REGIONAL EXPRESSION – TRANSITION TO OUTSIDE



SOFFIT TREATMENT



BALCONY AND OVERHANGS RESPOND TO CLIMATE



LANDSCAPED DECKS AND ROOFTOPS

2.4.1 COMMERCIAL BUILDING ROOFTOPS, BALCONIES, OVERHANGS AND SOFFITS

- ≈ Where at-grade patios are to be provided in support of commercial uses, consideration should be given to provide a landscape buffer between the public realm and outdoor patio.
- ≈ Outdoor patios should be delineated with decorative fencing of a high quality and durable material (i.e. metal) and should not exceed 1.2 metres in height unless considered as part of a gateway treatment.



OUTDOOR PATIO DECORATIVE FENCING

2.5. EXTERIOR MATERIALS, TREATMENT AND WINDOWS

- ≈ In response to a regional expression, the character of building, detailing and selection of materials should celebrate the unique and distinctive qualities of the Okanagan Valley and draw inspiration from the region’s natural and cultural landscapes.
- ≈ In response to a regional expression, consider techniques and treatments that emphasize the transition between inside and outside through the differing seasons such as; retractable windows, overhead rolling doors, canopies, trellises, and extended building planes.
- ≈ Window and balcony sizes and spacing should create a comfortable rhythm that is consistent through the majority of the floors above the lowest level.
- ≈ Windows should be maximized to create natural light penetration into the buildings. Positioning of windows will consider solar effects during both the hottest summer months and the cooler and greyer winter months.
- ≈ Windows that open for natural ventilation should be encouraged, but the windows must also have a means to be secured at lower levels on the buildings.
- ≈ Windows should incorporate an appropriate trim detail that will be suited to the exterior materials and colours of the building.



COMPLEMENTARY MATERIAL CHANGE



WINDOW BALCONY RHYTHM

- ≈ All roof flashings and vents exposed to public view should be painted to match adjacent surfaces or disguised in a manner consistent with the visual characteristics of the building.
- ≈ Materials should be durable and appropriate to the character of community development. No vinyl siding or non-vision (mirrored) window glass is to be used as part of building fenestration.

**2.6. PARKING, LOADING, FIRE AND EMERGENCY ACCESS**

- ≈ Vehicle drop off and temporary lay-by parking should be provided in close proximity to residential buildings, or by having a single drop off serving a grouping of buildings.
- ≈ Vehicle drop off and temporary lay-by parking should be located in a manner as to ensure adequate access by the appropriate sized vehicles, while minimizing pedestrian conflicts and visual impacts from principle building entries and outdoor patios.
- ≈ Vehicle drop off and temporary lay-by parking should be treated so that pedestrians and vehicles have equal status.
- ≈ Vehicle drop off and temporary lay-by parking should offer visual interest (i.e. stamped concrete, concrete pavers, etc.) such that the space takes on a higher quality and distinction from the asphalt roadway surface.
- ≈ The majority of the required parking will be located in parking structures. Due to the high water table, it is not practical to construct the parking structures completely underground.
- ≈ Under-building parking structures should be built to internal property lines to ensure a contiguous public open space can be created on top of the structure.
- ≈ Parking garage interconnectivity should be encouraged between adjacent building sites.



REGIONAL EXPRESSION – TRANSITION TO OUTSIDE



VEHICLE DROP OFF PAVING



ARCHITECTURAL INTEGRATED PARKADE ENTRY

- ≈ The lowest level parkade can have approximately ½ storey of the parking structure wall height exposed, provide that it is treated in a manner as outlined in these guidelines.
- ≈ The second level parkade should be integrated into buildings and may include portions of the parkade structure that will have a full one-storey potentially exposed, provide that it is treated in a manner as outlined in these guidelines.
- ≈ Exposed parkade walls in areas with no pedestrian access have the potential to be naturally ventilated using screened openings. The design of screens should be decorative with be a powder-coated finished metal material.
- ≈ Exposed parkade walls in areas with pedestrian access will, at minimum, include; colour parging or cast-in-place concrete reveals, and if possible, sloped landscape with plant screening to minimize visual impact of walls. Any landscaping associated with parkade structures will consider CPTED guidelines.
- ≈ Exposed parkade walls in areas with pedestrian access and associated with second level parking should also function as pedestrian access points to the network of open spaces by incorporated into their design stairs and/or ramps for pedestrian access.
- ≈ Terraced landscaping should be used to complement pedestrian access points and be integrated into the overall landscape open space design.
- ≈ Exposed parkade walls in highly visible areas should have equal treatment as building exteriors in terms of articulated surface, reveals and applied detailing to visually break-up wall surfaces.
- ≈ Garage doors and vehicle access points into building should not terminate on axial views (i.e. views down streets within the vicinity of the site).
- ≈ Where axial views are terminated, design consideration should be given to mitigating the visual impact of such views and to otherwise provide a high degree of human scale and visual interest at visual termination points.



CONSOLIDATED LOADING AND PARKING



EXTERNAL TREATMENT OF PARKADE WALLS



UNOBTRUSIVE PARKADE ENTRY

- ≈ Doors and entrances into parking garages should not be visually obtrusive and should not be more visually prominent than any principal entrance to the building.
- ≈ Garage entrances should be architecturally integrated into the overall building design with street-level exterior building finishes wrapping into the garage opening for a minimum of 2 metres in depth.
- ≈ Doors to parking garages should have an architectural treatment that is primarily expressed as an opaque or semi-opaque door rather than an open screen. Open screens are acceptable if highly detailed and rich in visual interest.
- ≈ Garbage and recycling facilities should be located away from public sidewalks and screened from view. The materials used for such purposes should be common to the building's exterior finishes.
- ≈ Surface parking should consider the use of permeable pavers as a means for passive storm water management to control surface water run-off.

2.6.1 COMMERCIAL PARKING, LOADING, FIRE AND EMERGENCY ACCESS

- ≈ There is to be one access off of Lakeshore Road that will serve as the main entrance for the commercial and hotel uses.
- ≈ Surface parking lots should be exclusively for commercial and retail uses and temporary drop off areas; structured parking (except for drop-off zones) will be created for residential uses.
- ≈ Loading areas for commercial and hotel uses should be consolidated into one area that provides safe and efficient access and minimizes exposure to adjacent commercial uses.



LAY-BY PARKING



PARKING PLAZA

## 2.7. SIGNAGE

- ≈ Building signage should be made of durable, weather-resistant materials, and be professionally fabricated and installed. No box signs are permitted.
- ≈ The size of any individual sign should follow a common theme of building signage as well as the appearance on an individual building's facade.
- ≈ The scale and visual qualities of a building should not be compromised by the size and/or number of building and address signs.
- ≈ Address signage should be of a pedestrian scale that is proportionate to the residential building frontage that it promotes.
- ≈ Free standing entry features that include building / address signage, and that are integrated with a site's landscape design, should be encouraged.
- ≈ Any free standing entry feature should be built to internal property lines to ensure a contiguous public open space.
- ≈ Any free standing entry feature, as part of the building design, should be included in the Development Permit package and include detail elevations and material selection.

### 2.7.1 COMMERCIAL SIGNAGE

- ≈ Signage should create a rich visual character to enhance an overall festive character of the commercial area. Signage should be made of durable, weather-resistant materials, and be professionally fabricated and installed. No box signs or back-lit signs are permitted.
- ≈ Signage should consist of fascia signage, projecting signage and a free standing main project sign located along Lakeshore Road frontage.
- ≈ The main project sign should include the name of the project (yet to be determined) and identification for the commercial hotel. Individual retailers and commercial businesses should have an opportunity for secondary placement on this sign.



DURABLE BUILDING SIGNAGE



FREE STANDING BUILDING SIGNAGE



FREE STANDING BUILDING SIGNAGE

- ≈ Fascia signage should be of a pedestrian scale that is proportionate to the retail frontage that it promotes.
- ≈ Projecting signage should not extend over large areas unless incorporated as part of an awning, with text located within the awning valance. Letters should be of appropriate scale and size to complement the character of the awning design.
- ≈ The size of any individual sign should follow a common theme of building signage as well as the appearance on an individual building's facade.

## 2.8. LIGHTING

- ≈ Illumination should be planned as a key element in a façade's design with consideration for the effect on the façade and on adjoining buildings and open spaces.
- ≈ All exterior lighting should follow best practice methods to preserve the Dark Sky by limiting light pollution and to include selection of high performance fixtures that conserve energy.
- ≈ Lighting should not contribute to glare through use of full cut-off or low-wattage luminaries.
- ≈ Designs should also incorporate shielded fixtures and/or appropriate mounting heights, as well as be aimed appropriately.
- ≈ Building and wall sconce lighting should be in response to the individual building's architectural character, while complementary to the overall character of the residential area.
- ≈ Building and parkade entry lighting should be of sufficient illumination levels as to clearly indicate principle entries from secondary, and to provide a high level of "psychological comfort" for persons using each entrance.
- ≈ Directional or accent lighting should be limited to specific exterior feature elements of notable distinction.



PROJECT SIGNAGE



DARK SKY EXTERIOR LIGHTING



FAÇADE LIGHTING EFFECTS

- ≈ Street and pedestrian light fixtures should add daytime visual interest and human scale to the exterior environment and be complimentary to the building design, as well as help accentuate the rhythm of the building façade.
- ≈ Lighting should be designed for high-quality environmental performance. Only one style of street and pedestrian fixture should be used within the residential areas.
- ≈ Lighting of sidewalks and bike paths adjacent to roadways should provide for continuous and uniform lighting of ground level.

2.8.1 COMMERCIAL LIGHTING

- ≈ Window displays should be lit from the inside of the tenant space with directional lighting such that there is minimum light spillage outside of the tenant space.

2.9. SCREENING AND FENCING

- ≈ Areas for consideration for buffering and fencing will be along the property boundary between the CD24 site and the adjacent residential properties and should respond to privacy issues.
- ≈ All buffering and fencing should be an appropriate response to adjacent social interaction, security and safety.
- ≈ A solid privacy fence, along with supplemental planting, should be provided in response to landscape aesthetics and to assist with sound attenuation.
- ≈ Fence height and landscape buffer screening should be maximized in these areas and meet, as a minimum the City of Kelowna’s Section 7 Landscaping and Screening Level 3 Landscape Buffer Requirements.
- ≈ Level 3 Landscape Buffer Requirements: a minimum 3 metre landscape buffer is required to separate uses from adjacent existing properties and will consist of a vegetative buffer or a continuous opaque barrier.



PATHWAY LIGHTING



SHIELDED AIMED LIGHTING



PRINCIPLE ENTRY LIGHTING



INDIVIDUAL UNIT FENCING

- ≈ Fencing should be treated simply and in a similar manner between individual parcels and buildings to create a sense of harmony and unification with the residential area.
- ≈ Ground level private patios should be delineated with fencing of a high quality and durable material (i.e. wood or metal) and should not exceed 1.5 metres in height unless considered as part of a gateway treatment.
- ≈ In all public to semi-private open areas, fencing should be visually permeable and its height should be such that it is not imposing to the pedestrian realm and maintain CPTED sightlines.
- ≈ The use of chain link as a fencing should be discouraged in public open space and private landscaped areas, with the exception of the delineation of the Wilson Creek wetland and riparian corridor.
- ≈ Variations in fence treatment can be presented at the Development Permit stage, and should only be considered when the fence design is in response to a specific microclimate to increase pedestrian comfort or to increase usability of an outdoor space (i.e. patio).

2.9.1 COMMERCIAL SCREENING AND FENCING

- ≈ The commercial area and associated parking plaza should be considered as an urban plaza. As such, the City of Kelowna’s Section 7.0 Landscaping and Screening requirements of surface parking lots should be relaxed in consideration of this higher urban treatment.
- ≈ No major conflicting land uses are proposed with the commercial area that will require significant screening. Any requirements to separate adjacent building uses or create exterior territorial definition should be accomplished through planting.
- ≈ Landscape screening and buffer should be considered along the Lakeshore Road corridor in response to any outdoor activities related to commercial uses. Any planting in close proximity to intersections and pedestrian and vehicle conflict points will respond to visual sight lines and CPTED safety requirements.



INDIVIDUAL UNIT FENCING



VARIATION ON FENCE



PRIVACY FENCING

- ≈ Outdoor patios should be delineated with decorative fencing of a high quality and durable material (i.e. metal) and should not exceed 1.2 metres in height unless considered as part of a gateway treatment.

## 2.10. SITE ACCESS AND CONNECTIONS

- ≈ Primary access into the CD24 site is provided off of Lakeshore Road along with a secondary access off of Bird Place (via a new bridge over Wilson Creek).
- ≈ A secondary vehicular and pedestrian access into the CD24 site will be provided from Springrose Way.
- ≈ Emergency vehicle access into the CD24 site is provided off of Springbrook Road. This access will provide important emergency access into the CD24 site and improved pedestrian connectivity to the larger community.
- ≈ Circulation and connectivity between the four vehicle access points will consist of an interior road network as part of a bare-land strata development and should be designed in a manner that will reduce the potential for short cutting.
- ≈ All internal roads and access points into / out of the CD24 site should be designed in a manner that promotes pedestrian and cycling in a safe and comfortable public realm environment.
- ≈ Bridge access off Bird Place will include appropriate Wilson Creek environmental approvals in conjunction with the bridge design and construction.
- ≈ Bridge access off Bird Place will be constructed over Wilson Creek and designed as a gateway entrance to the site and the bridge design should be included as part of the form and character Development Permit application.
- ≈ Bridge access off Bird Place will accommodate pedestrian and cyclists, and the north side approach will also be designed to accommodate a pedestrian crossing of the secondary entry road for the Wilson Creek trail.



SITE ACCESS AND CONNECTIONS



PERSPECTIVE – LOOKING SOUTH

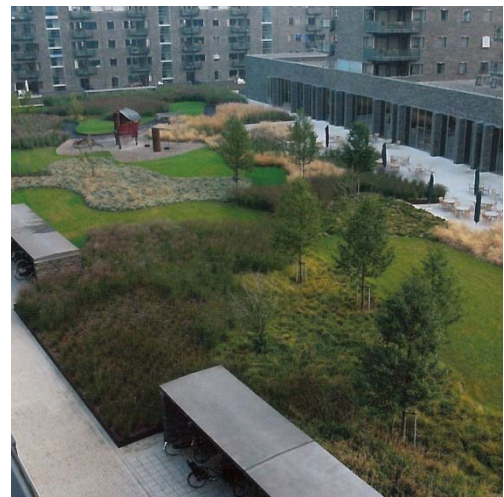
- ≈ For any pedestrian underpass associated with the Bird Place bridge access, consideration should be given to increasing the amounts of pedestrian level lighting under bridge structure and additional considerations for CPTED principles at bridge abutments to minimize potential hiding places.
- ≈ It is anticipated that vehicle access off of Lakeshore Road will be associated with a new controlled intersection which will serve as the main entrance for the commercial and hotel uses.
- ≈ The Lakeshore Road entry is considered a major pedestrian and commuter cycle connection with safe and convenient access to the adjacent Multi-Use Corridor (MUC) that connects Upper Mission to Downtown. As such, consideration should be given to the commercial plaza and adjacent ground floor retail design for the accommodation of multi-modal movement.

2.10.1 COMMERCIAL SITE ACCESS AND CONNECTIONS

- ≈ Pedestrian walkways adjacent to ground floor retail should be wide enough to accommodate retail overflow into the public realm frontage zone without restricting pedestrian circulation.
- ≈ The commercial area will be an area where the public is invited to be, and security within public areas should be considered in conjunction with building development.
- ≈ All security devices such as gates or screens should be located on the inside of the retail frontages. Corridors or entry ways that need to be secured should be either doors or gates in keeping with the architectural style of the exterior of the building. Roller gates and shutters are not permitted.



COMMERCIAL AREA SITE ACCESS



PROVIDE LARGE PUBLIC OPEN SPACES

2.11. PUBLIC AND PRIVATE OPEN SPACE

- ≈ The provision of large usable areas designated for use by CD24 residents should be promoted in the building siting and design of exterior spaces.
- ≈ Private open space should be limited to exterior spaces immediately adjacent to residential units (private patios and balconies) and to principle/ secondary building entrances - to promote a continuous and integrated series of open spaces.
- ≈ In situations where private areas will not be secured, landscape design and planting should create a territorial separation between semi-public and private spaces, without necessitating the use of fencing that will disrupt the visual continuity of the landscaped open spaces; fencing should be provided only when security is an issue.
- ≈ Spatial separation, combined with landscape planting, should be considered in all locations where there is an interface between a road and a building, or a major pedestrian access route and a building.
- ≈ Open spaces should be highly accessible and primarily promote passive recreational uses such as walking, jogging, cycling, and informal play opportunities.
- ≈ Open spaces should provide for some level of pedestrian scale lighting to promote safety and encourage limited night-time use.
- ≈ The provision of landscape feature elements such as gazebos, trellises, and pergolas should be encouraged as a way to enhance the visual interest and use of open spaces and should be attractive when viewed from above.
- ≈ A continuous pedestrian connection should be provided to link all major open spaces, including the Wilson Creek wetland and riparian corridor, which limits any potential for pedestrian and vehicle conflicts.



URBAN DESIGN



ENHANCED PUBLIC REALM



HIGH QUALITY PLAY EQUIPMENT

- ≈ Portions of the Wilson Creek’s northern boundary will be reserved as public open space, and will be protected by covenant against development in order to preserve and enhance the creek’s wetland and riparian habitat.
- ≈ Any new work associated with Wilson Creek’s northern boundary will be designed in a manner to meet City of Kelowna design and construction standards and any environmental mitigation recommendations.
- ≈ Provision of community gardens should be considered either as part of the overall development’s common open space, or as part of an individual building’s garden space. Community gardens provide a direct sustainability feature and also create more of a community presence in the development.
- ≈ Community gardens should be considered as part of a private or semi-private open space development and be designed in a manner that provides some level of security and controlled access for users.
- ≈ Provision of structured play areas should be considered either as part of the overall development’s common open space, or as part of an individual building’s garden space.
- ≈ Structured play should consist of play equipment that promoted physical play and social interaction among its users.
- ≈ Any play equipment should conform to current CSA playground standards and be of high quality design and durable materials and include appropriate safety surfacing.
- ≈ No black colour rubber tile safety surfacing should be used due to potential heat absorption.
- ≈ Non-structural retaining walls used in open spaces should not be greater than 1.2 metres in height and made from local stone or of modular/ segmental block construction.



PEDESTRIAN AMENITIES



LOW NATURAL STONE WALLS



TERRACED LANDSCAPE TREATMENT

- ≈ Where structural retaining walls are required, exposed faces should be treated in a manner that is complementary with adjacent landscaping and/or architectural details - so as to limit their overall mass, height and visual impact.
- ≈ Where structural retaining walls are required, exposed faces should be treated in a manner that will discourage graffiti (i.e. treated with anti-graffiti coating). Photo image vinyl wraps should be provided on all utility boxes that are susceptible to graffiti (i.e. tagging).

2.11.1 COMMERCIAL PUBLIC AND PRIVATE OPEN SPACE

- ≈ The Commercial plaza should be fully accessible to the public as it depends on pedestrian and vehicular traffic. Open spaces within this area should serve either as aesthetic landscaped areas relating to retail activity or routes of access.
- ≈ The character of the commercial open space should have an “urban plaza character” in support of retail activities and promote a pedestrian friendly environment through spatial continuity between the public and private realms.
- ≈ The design of open spaces within the commercial plaza should promote social interaction throughout the following site planning considerations: orient the spaces to take advantage of natural sunlight and key views; provide shade and protection from wind and other climatic elements.
- ≈ Encourage the provision of streetscape elements of greater distinction within the public realm that should incorporate a high level of urban and functional design. The intent is to create a unique and memorable experience through innovative and creative design.
- ≈ Consideration should be given to placement of streetscape elements within the commercial area’s public realm so as not to create clutter or restrict pedestrian movement.

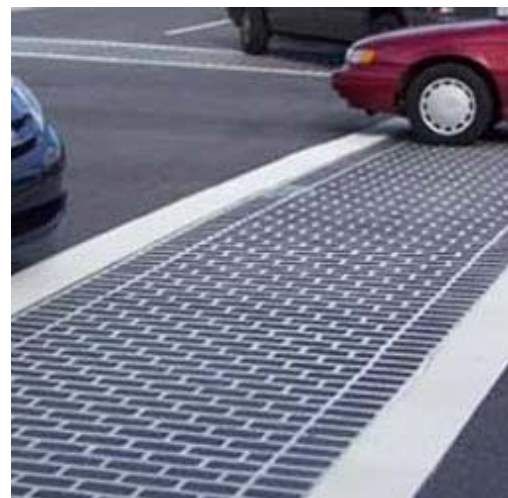


PEDESTRIAN ZONES

PUBLIC REALM ZONE LEGEND:

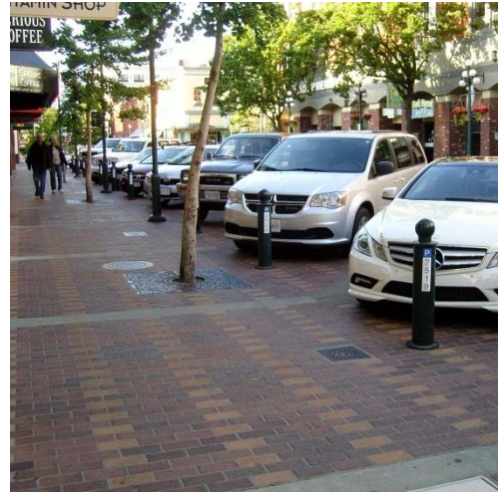
- FRONTAGE ZONE
- SIDEWALK (PEDESTRIAN CLEARANCE ZONE)
- FURNITURE / PLANTING ZONE
- EDGE ZONE
- ENHANCED PUBLIC REALM ZONE (FLEX PARKING/PATIO SPACE)

PEDESTRIAN ZONE LEGEND



PEDESTRIAN SIDEWALK

- ≈ The public realm for Area “A” should be considered as a series of pedestrian zones in which specific site furnishing, planting and streetscape elements will be located. Zones may include any of the following:
- ≈ Edge Zone: immediately adjacent to parking and provides a safety buffer for pedestrian against vehicle encroachment;
- ≈ Furniture and Planting Zone: accommodates street tree planting, lighting, site furniture and other fixed objects;
- ≈ Pedestrian Clearance Zone: must be kept free of obstructions and provide a continuous linear pathway of an appropriate width to serve anticipated pedestrian flow;
- ≈ Frontage and Marketing Zone: is the area directly in front of the building and/or property line. It can be used as flow-out space, patios and outdoor display areas for merchants.
- ≈ Enhanced Public Realm Zone: is the flexible parking space that can be utilized for seating areas.
- ≈ Consideration should be given to the use of brick pavers as the primary surface treatment to promote a sense of ‘high quality urban design’ and promote passive stormwater management through porous pavement.
- ≈ Consideration should be given to the use of rolled curbing in association with decorative metal bollards in high pedestrian and vehicle circulation areas to define and separate movement while maintaining continuity of paving treatment.
- ≈ Open space areas closer to Lakeshore Road should be used to complement the main signage opportunities and create an aesthetic buffer between the site and the boulevard.



URBAN PLAZA CHARACTER



SOCIAL INTERACTION

# LANDSCAPE DESIGN GUIDELINES

## 3.1. PEDESTRIANS

- ≈ All major pedestrian walkways within the semi-private and public open spaces should be accessible at all hours and to all users, and conform to best practices for barrier-free design.
- ≈ All internal roads should include sidewalks of a minimum 1.8 metre width.
- ≈ Wherever possible, sidewalks should be separated by a planted boulevard of minimum 2.0 metre width.
- ≈ All major pedestrian walkways should provide for some level of pedestrian scale lighting to promote safety and encourage limited night-time use.
- ≈ Pedestrian network should be considered in conjunction with overall roadway network and building siting, so as to maximize interconnectivity between roads private and public open spaces and minimize pedestrian and vehicle conflicts.
- ≈ A hierarchy of pedestrian pathways should be developed in conjunction with overall pedestrian network system. Paving surface treatment and pathway widths should be used as part of the pedestrian hierarchy.
- ≈ Consideration should be given for the following pathway hierarchy system;
  - brick pavers in urban areas where pedestrian and vehicles have equal importance;
  - concrete paving for major pathways and sidewalks within public realm;
  - combination concrete and brick paving for pathways within the private realm;
  - asphalt paving for multi-modal and high traffic pathways in natural areas;
  - compacted crushed granular in low traffic natural areas.



SEPARATED WALKWAY



HIERARCHY PATHS



BRICK PAVERS IN URBAN PLAZA AREA



ROLLED CURB WITH BRICK PAVERS

- ≈ Public realm should provide site furnishing, comfort amenities, shade trees, low level planting, and landscape / urban design elements that will create a pedestrian friendly streetscape environment and promote pedestrian use.
- ≈ Pedestrian crosswalks should be treated in a manner that provides paving contrast, in an aesthetically pleasing manner, between pedestrian zones within roadway.
- ≈ Pedestrian crosswalks paving treatment should be limited to:
  - stamped and tinted concrete,
  - wear-resistant thermal plastic traffic patterns (i.e. SquareOne Paving),
  - or at minimum, painted zebra lines.



PEDESTRIAN SIDEWALK

### 3.2. CYCLING

- ≈ Bike paths for recreation, commuter bike lanes and multi-use shared bike and pedestrian corridors shall promote alternative modes of transportation and increased physical activity that provides a direct sustainability feature to the CD24 site, and also creates more of a community presence in the development.
- ≈ Pathway connections into the CD24 site should take full advantage of the adjacent Lakeshore Multi-Use Corridor (MUC) that connects Upper Mission to Downtown. As such, consideration should be given to the Commercial Plaza and adjacent ground floor retail design for the accommodation of multi-modal movement.
- ≈ Given the residential nature of the development, with lower traffic volumes when compared to city collector and arterial roads, no painting should be required to delineate commuter bike lanes on internal roads.
- ≈ Bollards are recommended in areas where separated bike paths join-up with vehicle intersections as a way to encourage the slowing down and dismounting of cyclists before crossing roadway.



PEDESTRIAN AMENITIES



PROMOTE CYCLING

- ≈ Provisions should be made for safe and reliable bicycle storage in key public open space areas and within every private building site in the development.

### 3.3. WAYFINDING AND SIGNAGE

- ≈ Buildings in the residential area should have adequate directional signage at the main entries to the CD24 site.
- ≈ All of the internal roads will be private roads and should be properly named and addressed to orient and direct local residents and visitors within the development.
- ≈ A logical addressing system should be developed in conjunction with the City of Kelowna and the emergency response providers, to ensure that each building or cluster of town houses is easily identifiable.
- ≈ Any wayfinding and directional signage associated with the Wilson Creek wetland and riparian corridor should be coordinated with the City of Kelowna’s wayfinding and park signage requirements.

### 3.4. WILSON CREEK GREEN SPACE LANDSCAPING

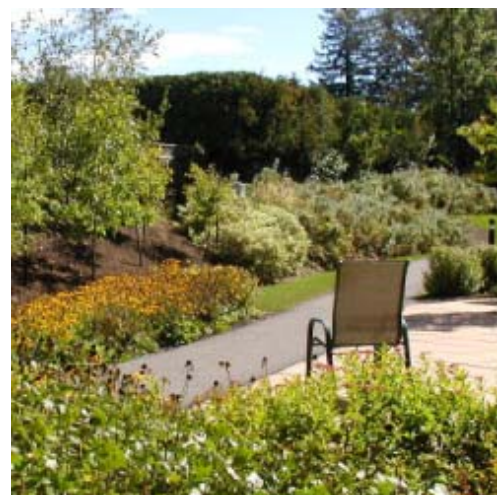
- ≈ Portions of the Wilson Creek’s northern boundary will be reserved as public open space, and will be protected by covenant against development in order to preserve and enhance the creek’s wetland and riparian habitat.
- ≈ Private open space landscaping adjacent to the Wilson Creek Green Space should consist primarily of native and indigenous plant species in natural plant groupings that is complementary of the public open space treatment for the adjacent Wilson Creek wetland and riparian corridor.
- ≈ Private patios adjacent to the Wilson Creek Green Space should provide some fencing in response to security and delineation of private and public spaces.



PROJECT SIGNAGE



AWNING SIGNAGE



WILSON CREEK SPACE SETBACK

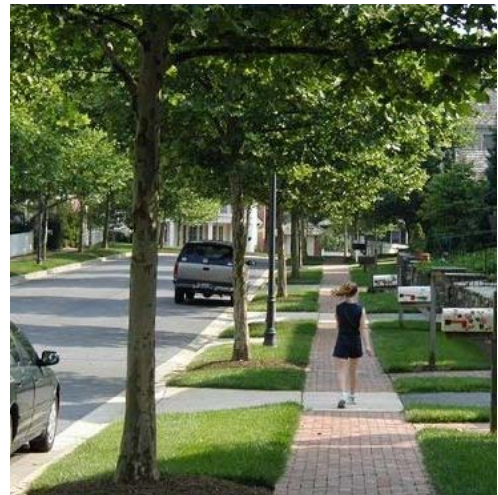
- ≈ Private patio spaces should be delineated with decorative fencing of a high quality and durable material (i.e. metal, glass) and should not exceed 1.2 metres in height unless considered as part of a gateway treatment.
- ≈ Private patio fencing should encourage views to the adjacent naturalized landscape and be constructed in a manner that minimizes its opaqueness.
- ≈ Non-structural retaining walls used in open spaces should not be greater than 1.2 metres in height and made from local stone or of modular/ segmental block construction.

### 3.5. COMMUNITY GARDENS

- ≈ Provision of community gardens should be considered either as part of the overall development’s common open space, or as part of an individual building’s garden space. Community gardens provide a direct sustainability feature and also create more of a community presence in the development.
- ≈ Maintenance agreements between developers and users should be developed in coordination with the establishment of any community garden, to ensure proper stewardship, access control and visual tidiness of these unique garden spaces.
- ≈ The provision of landscape feature elements such as gazebos, trellises, and a storage shed should be encouraged to enhance the visual interest and functionality of the community gardens, and should be attractive when viewed from above.



PUBLIC SPACE COMMUNITY GARDENS



STREET TREES ADAPTED TO REGION

### 3.6. STREET TREE PLANTING

- ≈ Street trees can significantly contribute to the overall beauty and increased property values of the CD24 site and therefore should be provide wherever possible.



STREET TREES TO CELEBRATE SEASONS

- ≈ Street trees should be of a deciduous species that has a non-aggressive root habit and tolerant of urban conditions (i.e. road salt) with a minimum 7.5 cm (3") calliper size measured at Circumference at Breast Height (CBH).
- ≈ At minimum, street tree selection should be cross-referenced to the City of Kelowna's Tree Selection Guidelines for appropriateness of tree species:  
<http://www.kelowna.ca/CM/Page292.aspx>
- ≈ Street tree species selection should be suitable for the Okanagan climate and growing conditions and have been grown locally.
- ≈ Street tree species selection should celebrate seasonal variations through changing colour of leaves, winter and summer bark and branching interest, etc.
- ≈ Street tree species selection should provide enough diversity of species as to protect against the spread of disease and pests that can devastate monoculture plantings (i.e. Dutch Elm disease).
- ≈ Street tree planting (i.e species and spacing) should be treated in a similar manner on both sides of the internal road ROW to create a unified appearance.
- ≈ Changes in street tree species should be in logical locations such as roadway intersections, changes in road directions, and termination of key roadway vistas. Avoid random or multiple specie changes along a single stretch of roadway.
- ≈ Soil volumes for street tree planting should be maximized to increase the area available for root growth.
- ≈ Consideration should be given to providing continuous soil trenches, root zone break-out areas to adjacent green spaces, structural soil, and use of suspended pavement systems such as SilvaCell® as possible strategies of increasing soil volumes.
- ≈ Wherever possible, all trees should be offset back from sidewalk and major utility services by a minimum of 2.0 metres measured from edge of conflict to edge of tree rootball. If not possible root barriers should be used.



MAXIMIZE SOIL AREA FOR TREES



ROOT BARRIERS ADJACENT TO UTILITIES



STREET TREE DRIP IRRIGATION

- ≈ Root barriers should be provided at critical root zones areas adjacent to sidewalks, utilities and other vulnerable infrastructure, to direct surface roots downward and away from potential conflicts.
- ≈ All street trees should be irrigated with an automatic underground irrigation system. System controls and zoning should be such as to allow trees to be irrigated independently of other planting.
- ≈ All irrigation should conform to the highest standards and irrigation best practices for reduced water consumption and usage.
- ≈ Drip and Drip manifold should be the preferred method of irrigation, to eliminate water loss due to over-spraying and evaporation and provide equal distribution of water directly to the root zone area.

### 3.7. LANDSCAPE PLANTING

- ≈ Landscape planting (including trees) should include species adapted and suitable for the Okanagan’s hot-dry climate and growing conditions and have been grown locally.
- ≈ Plant material should be of various species and genus as to provide a high level of visual and seasonal interest in form, colour and texture.
- ≈ Landscape trees should be large enough at maturity to create a park-like setting, especially along roadside boulevards.
- ≈ Plant material should be specified at a sufficient installation sizes as to provide an immediate landscape impact.
- ≈ Planting areas should include a mixture of deciduous and evergreen plants in combinations of perennials, ornamental grasses, shrubs, and trees in response a building’s specific exterior space programming and buffering requirements.
- ≈ All planting should conform to the BC Landscape Standards, current edition, for minimum plant and installation specifications.



MAXIMIZE LANDSCAPE BUFFERING AT EDGES

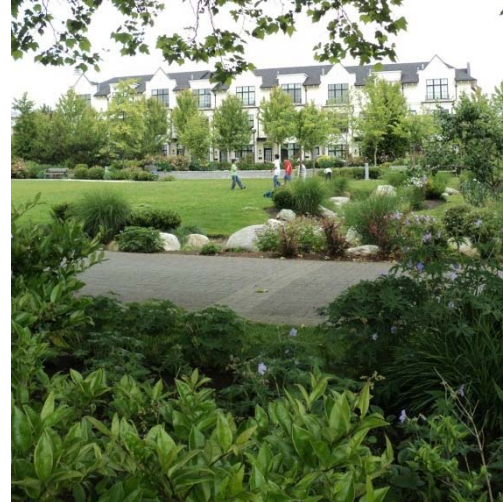


SCREEN PRIVATE FROM PUBLIC SPACES



GREEN STREETS

- ≈ All planting should be irrigated with an automatic underground irrigation system. System controls and zoning should be such as to allow planting to be irrigated independently of landscape trees and street tree planting.
- ≈ All irrigation should conform to the highest standards and irrigation best practices for reduced water consumption and usage.
- ≈ Drip and Drip manifold should be the preferred method of irrigation, to eliminate water loss due to over-spraying and evaporation and provide equal distribution of water directly to the root zone area.



VARIETY OF PLANT SPECIES



PLANTING ENTRY



NATURALIZED PLANTING

## Schedule 'B' Comprehensive Development Zones

### CD25 - Light Industrial-Residential Mixed Use Zone

#### 1.1 Purpose

The intent of this zone is to permit a mixed light industrial and residential use development. The development will consist of residential uses in combination with small light industrial uses to be contained in the same structure. The purpose for this zone is to provide for a transition between the adjacent residential on one side and the light industrial on the other side. This strategic use of the site allows a residence in close proximity to a superior class of clean industrial and office space where compatibility amongst all uses is paramount.

#### 1.2 Principal Uses

The principal uses in this zone are as follows:

- a) **broadcasting studios**
- b) **commercial storage**
- c) **contractor services, limited**
- d) **custom indoor manufacturing**
- e) **equipment rentals**
- f) **food primary establishment**
- g) **household repair services**
- h) **industrial high technology research and product design**
- i) **liquor primary establishment, minor**
- j) **mobile catering food services**
- k) **participant recreation services, indoor**
- l) **private clubs**
- m) **multiple dwelling housing**

#### 1.3 Secondary Uses

The secondary uses in this zone are as follows:

- a) **home based business, minor**
- b) **retail (ancillary to principle uses)**

#### 1.4 General Conditions of Use

##### 1.4.1 Industrial

- a) No use shall produce dust or other emissions that exceed standards set by provincial legislation without the authorization from appropriate provincial agency.

- b) No use shall produce odor, glare, vibration or noise that creates a nuisance or that impairs the use, safety or livability of adjacent properties including the residential units above the industrial.
- c) All principal uses, except residential, shall be confined to the lower units with all operations, storage, office and administration functions.
- d) Outdoor operations, storage or associated long term **vehicle** parking is not permitted on the premises.
- e) Contractors and other similar operators requiring fleet vehicles are not permitted to park more than two **vehicles** in outdoor parking areas.
- f) **Drive-in food services** are not a permitted form of development in this zone.
- g) All lighting shall be of a residential character in design, downward directional and constructed at the lowest elevation practical for the intended application so as to minimize light trespass to residential units above.
- h) Mezzanine floors within the first storey may only be used for office or light storage. Operations, residential use and associated industrial activity are not permitted on mezzanine floors.
- i) Principal uses other than residential are not permitted above the first storey.
- j) Auto body repair and paint shops are prohibited in this zone.

#### 1.4.2 Residential

- a) All residential uses shall be located above the first storey.
- b) Garages for residential units shall be on the second storey, accessed from ground level from the rear of the building.
- c) Residential outdoor space is restricted to amenity areas on decks and balconies. Common landscaped areas are accessible as passive green space for all homeowners.
- d) Separate entrances to each residential unit will be located on the upper floor and separated from the industrial uses respecting all British Columbia Building Code requirements that are in force.
- e) **Home based businesses** shall only be permitted within a dwelling unit.

### 1.4.3 Outdoor Storage

- a) No outdoor storage of any kind is permitted.
- b) **Ancillary** storage shall not be permitted in compounds, **accessory buildings**, or **storage containers**. Outdoor storage racks are also not permitted on site, except when exchanging equipment and apparatus from inside the industrial units. Duration of such racking will not be permitted longer than one (24 hour) day.
- c) All garbage bins shall be located and screened in accordance with the City of Kelowna Zoning Bylaw requirements. Access for pick up and drop off of garbage bins shall not conflict with residential or customer traffic and parking.
- d) Trucks and company fleet vehicles may not be parked in designated on-site parking spaces while being used for storage, outdoor displays or sales and in any state of disrepair.

### 1.4.4 Parking

- a) Parking for residential tenants shall be separate from parking designated for the industrial uses and associated customers.
- b) Residential uses will be required to contain their own parking spaces within the structure in accordance to the City of Kelowna Zoning Bylaw.

### 1.4.5 Home Based Business

- a) A **home based business, minor** will be permitted in accordance to the City of Kelowna zoning provisions and only if associated with the principal residential use.
- b) A home occupation/home based business will not be permitted to occupy additional residential units in the building.

### 1.4.6 Retail Commercial

- a) Retail for the purposes of the CD25 zone means where goods, merchandise and other materials are offered for sale at retail to the general public.
- b) Retailing of any goods and services may only be permitted if such goods and services are directly related to the principal use, must entail minor retail occurrences and occupy very limited space to displays within the industrial unit. The maximum floor area devoted to retailing and such accessory activities shall not exceed 25% of the **gross floor area** of the **building(s)**.

#### 1.4.7 Signs

- a) The type, size, design, amount and placement of signs shall be subject to Development Permit Area Guidelines and provisions of the City of Kelowna Sign Bylaw.

#### 1.4.8 Landscaping, Screening and Fencing

- a) All landscaping of yards shall be in accordance with the City of Kelowna Zoning Bylaw.
- b) Visual screening of any appurtenances and equipment on building walls and rooftops is required in accordance with the Development Permit Area Guidelines.
- c) Garbage receptacles and bins must be screened from view with appropriate opaque fencing and landscape materials which are consistent with the overall site design.
- d) All other requirements shall be subject to the Development Permit Area Guidelines.

#### 1.4.9 Appurtenances/Mechanical

- a) Vents, ducts, stacks and any other appurtenances or mechanical equipment that may be required for the lower floor uses shall not direct noise, dust or odors towards or onto the upper floor uses or adjacent uses.
- b) All external appurtenances and mechanical equipment must be designed to not be visually obtrusive or are to be properly screened.

#### 1.5 Floor Area Ratio/Lot Coverage

- a) The maximum **floor area ratio** is 0.20.
- b) The maximum **site coverage** is 50% including building, drive lanes and parking areas.

#### 1.6 Setbacks

- a) The minimum front yard is 10m for all buildings and structures.
- b) The minimum side yards are 25m (east side) and 11.5m (west side) for all buildings and structures.
- c) The minimum rear yard is 41m for all buildings and structures (abutting other zones).

**1.7 Height**

- a) The maximum height is 14m for the combined industrial and residential building.

**1.8 Parking and Loading (Off-street)**

- a) Parking shall be provided in accordance with the Parking and Loading regulations of the City of Kelowna Zoning Bylaw.
- b) Off-street parking space requirements for the industrial uses will account for 41 stalls, including space for tenants and customers.
- c) Off-street parking space requirements for the residential uses will account for 14 stalls, including the enclosed garages and visitor parking spaces.
- d) Loading and unloading bays are required at one stall per industrial unit (9 oversized stalls).

**1.9 Development Permit Guidelines**

- a) Every application for CD25 Zone shall be accompanied by an application for a Development Permit.

## Schedule 'B' - Comprehensive Development Zones

### CD25 – Capri Centre Comprehensive Development Zone

#### 1.1 Purpose

The purpose is to provide the framework for the existing uses and for the redevelopment and use of the Capri Centre in stages, over time, with a mixture of commercial and residential uses that serve more than one neighbourhood.

#### 1.2 Capri Centre Lands

The Capri Centre Lands consist of 3 legal lots as shown in Figure 1.2. Character-area designations indicated in Annexure "1" are for the purpose of the application of guidelines only. The application of the zoning regulations applies for all areas within the Capri Centre Lands irrespective of character area.



Figure 1.2: Capri Centre Lands

### 1.3 Design Guidelines

The CD 25 - Capri Comprehensive Development 25 Zone has been designated as a Development Permit Area by "Kelowna 2030 – Official Community Plan Bylaw No. 10500" for the purpose of guiding the form and character of development. The guidelines applicable to the CD 25 - Capri Comprehensive Development 25 Zone are annexed to this Bylaw as Annexure "1" and entitled "CD 25 Development Area Guidelines."

### 1.4 Principal Uses

Principal uses in this zone are:

- (a) amusement arcades, major
- (b) animal clinics, minor
- (c) apartment hotels
- (d) apartment housing
- (e) boarding or lodging houses
- (f) business support services
- (g) care centres, major
- (h) Child Care
- (i) commercial schools
- (j) commercial use
- (k) congregate housing
- (l) emergency and protective services
- (m) financial services
- (n) food primary establishment
- (o) gas bars
- (p) government services
- (q) group homes, major
- (r) health services
- (s) hotels
- (t) insurance services
- (u) liquor primary establishment, major
- (v) liquor primary establishment, minor
- (w) non-accessory parking
- (x) offices
- (y) participant recreation services, indoor
- (z) personal service establishments
- (aa) private clubs
- (bb) public education services
- (cc) public libraries and cultural exhibits
- (dd) recycled materials drop-off centres
- (ee) religious assemblies
- (ff) retail liquor sales establishment
- (gg) retail stores, convenience
- (hh) retail stores , health products
- (ii) retail stores, general

- (jj) shopping centre
- (kk) spectator entertainment establishments
- (ll) supportive housing
- (mm) temporary shelter services
- (nn) utility services, minor impact
- (oo) rowhousing
- (pp) townhouses

### 1.5 Secondary Uses

The secondary uses in this zone are:

- (a) amusement arcades, minor
- (b) care centres, minor
- (c) home based businesses, minor

### 1.6 Conditional Uses

The following uses are permitted subject to being located within 40m of Harvey Road:

- (a) drive-in food services

### 1.7 Subdivision Regulations

- (a) The minimum **lot width** is 13.0 m.
- (b) The minimum **lot depth** is 30.0 m.
- (c) The minimum **lot area** is 460 m<sup>2</sup>.
- (d) **air space parcels** will be allowed where appropriate

### 1.8 Density

- (a) The maximum allowable built area of **buildings** in this Capri Centre Zone is 205,807m<sup>2</sup> (2,215,287 ft<sup>2</sup>) or 2.60 FAR.
- (b) The maximum **site coverage** is 75% to be calculated on a net basis on the Capri Centre Lands
- (c) The minimum commercial area (to be calculated by combining the total commercial area constructed plus commercial area under approved permit) is 18,581 m<sup>2</sup> (200,000 ft<sup>2</sup>) net floor area.

### 1.9 Height

**Height** requirements are as indicated in Figure 1.9 and as described below:

- (a) In the area located within 40m of the property line abutting Harvey Avenue and in all areas east of Capri Street the maximum **height** of all **buildings** and **structures** shall be 6 storeys or 22m.
- (b) In the area located beyond 40m of Harvey Avenue the maximum height of all **buildings** and structures shall be 22 storeys or 70m with one exception as described in 1.9(c)
- (c) In the area located beyond 40m of Harvey Avenue the maximum **height** of one landmark **building** or **structure** shall be 26 storeys or 82m.

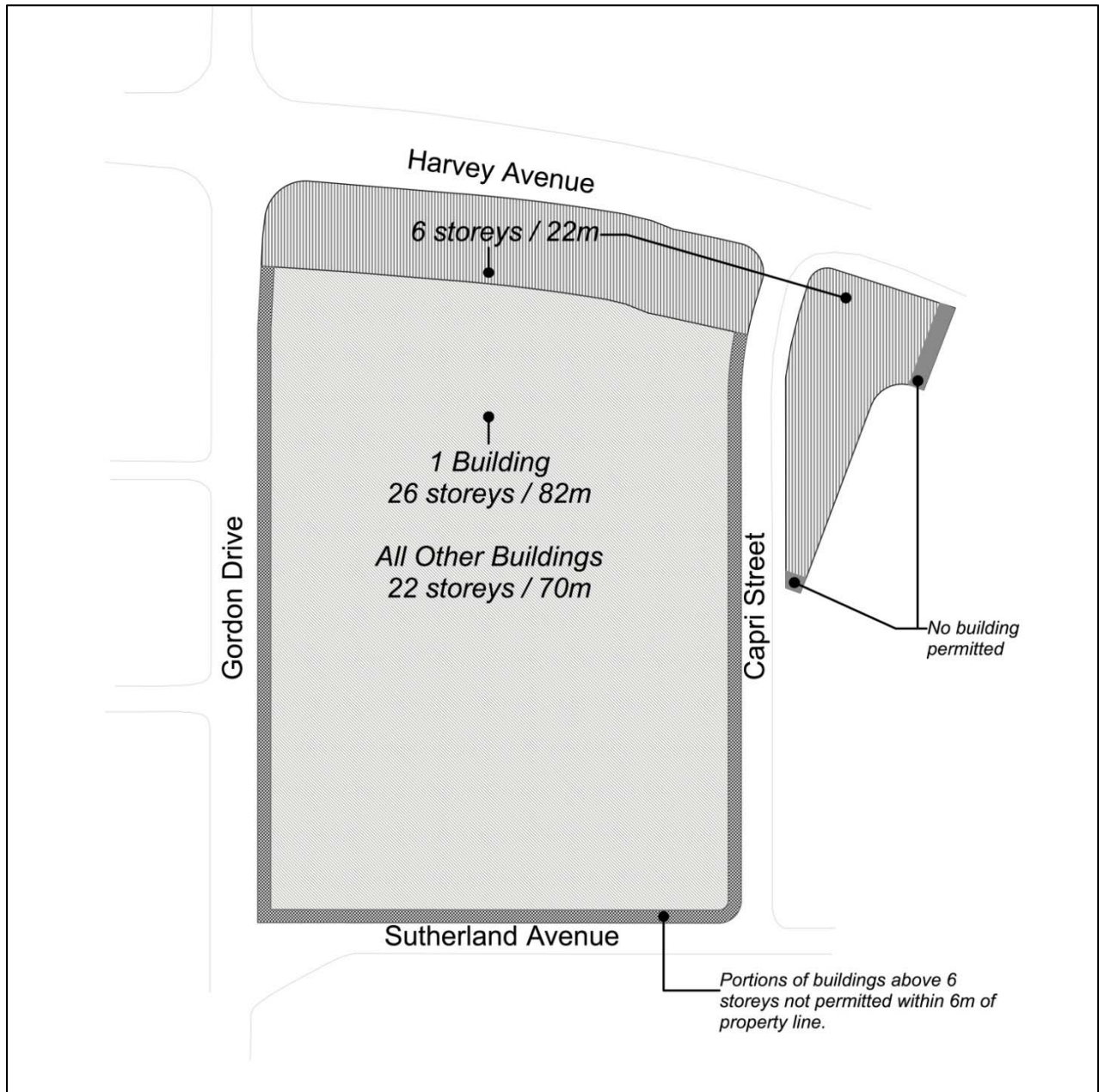


Figure 1.9: Height

### 1.10 Setbacks

- (a) The minimum **setback** to Harvey Road is 4.5 m
- (b) The minimum **setback** to Gordon Drive for all **buildings** or portions of the building located within 40m of Harvey Avenue is 0.0 m.
- (c) The minimum **setback** to Gordon Drive for all **buildings** or portions of the building located beyond 40m of Harvey Avenue is 3.0 m, excluding decks and patios.
- (d) The minimum **setback** to Capri Street for all **buildings** or portions of the building located within 40m of Harvey Avenue is 0.0 m.
- (e) The minimum **setback** to Capri Street for all buildings or portions of the building located beyond 40m of Harvey Avenue is 3.0 m, excluding decks and patios.
- (f) The minimum **setback** to Sutherland Drive is 3.0 m, excluding decks and patios.
- (g) All portions of buildings above 6 storeys shall be setback a minimum of 6m from Gordon Drive, Sutherland Avenue, and Capri Street.
- (h) The minimum **setback** to lands abutting the Capri Centre Lands is 7.5m.

### 1.11 Tall Buildings

- (a) The minimum separation distance between portions of **buildings** above 12 storeys is 30m.
- (b) The maximum floor plate for portions of **buildings** above 12 storeys is 650 m<sup>2</sup> (7,000 ft<sup>2</sup>) with one exception as described in 1.11(c)
- (c) The maximum floor plate for portions of one landmark building above 12 storeys is 696 m<sup>2</sup> (7,500 ft<sup>2</sup>)

### 1.12 Public Open Space

- (a) A minimum of 1.5 acres of publicly accessible open space shall be provided.

### 1.13 Amenities

Amenities shall be phased and provided concurrent with substantial new construction in a development stage and will be secured via Statutory Right of Way being registered on title securing public access. Amenities are:

#### *Within Amenity Area A*

- (a) one north-south pathway linkage extending from Harvey Road to the north face of the existing hotel;
- (b) an additional north-south pathway linkage located approximately near the bus station extending from Harvey Avenue to an internal drive aisle;
- (c) a surface parking area that includes landscape elements, trees, and electric hook-ups for occasional events.
- (d) all surface treatments pertaining to drive aisles, sidewalks, and landscape areas.

*Within Amenity Area B*

- (e) one north- south pathway linkage extending the full length of Amenity Area B, ensuring that the site is accessible for pedestrians and cyclists and connects the private drive aisle with Harvey Road;
- (f) all surface treatments pertaining to private drive aisles, sidewalks, and landscape areas.

*Within Amenity Area C*

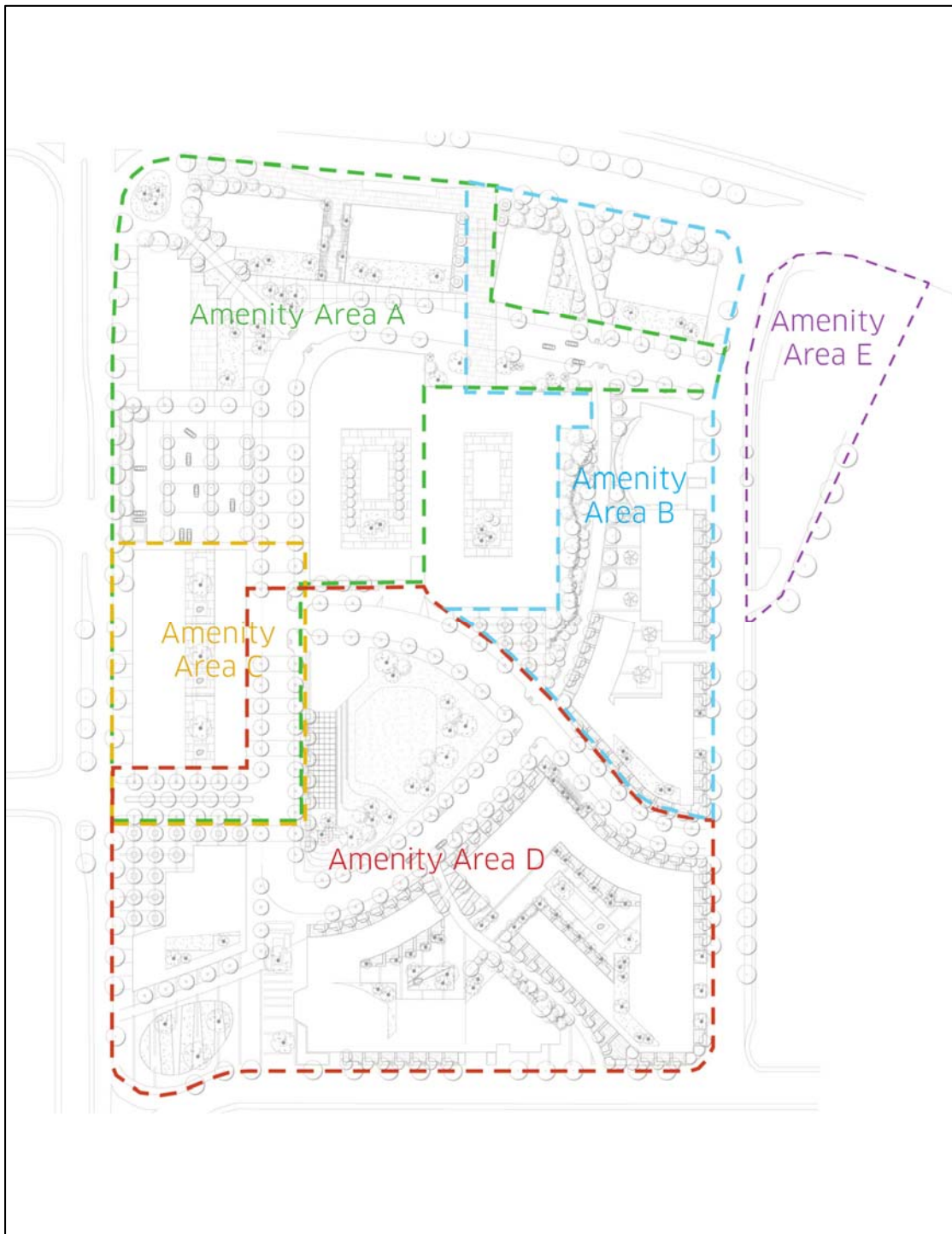
- (g) all surface treatments pertaining to private drive aisles, sidewalks, and landscape areas.

*Within Amenity Area D*

- (h) one publicly accessible open space that is flanked on at least one side by an internal drive aisle for a distance no less than 20m and has an area of 5,000 m<sup>2</sup> and includes an outdoor ice surface that is convertible to other uses outside of winter
- (i) in addition to the accessible open space identified in 1.11(h), one publicly accessible open space that is flanked on at least one side by an internal drive aisle or public street for a distance no less than 20m and has an area of 1,250 m<sup>2</sup>
- (j) two pathway linkages, ensuring that the site is accessible for pedestrians and cyclists and connects well with the surrounding community
- (k) all surface treatments pertaining to drive aisles, sidewalks, and landscape areas.

*Within Amenity Area E*

- (l) none



### 1.14 Parking and Loading

- (a) Parking spaces shall be designed in accordance with the parking regulations of **Section 8 – Parking and Loading** of this bylaw, with the exception that the minimum number of parking spaces required must be in accordance with Table 1.14.1 of this CD25 Zone.
- (b) Loading facilities shall be designed in accordance with the loading regulations of **Section 8 – Parking and Loading** of this bylaw, with the exception that the minimum number of parking spaces required must be in accordance with Table 1.14.2 of this CD25 Zone.
- (c) Bicycle parking shall be provided in accordance with the bicycle parking regulations of **Section 8 – Parking and Loading** of this bylaw.

**Table 1.14.1: Parking Requirements**

<b>Residential Uses</b>	
Residential	1.0 space per 1 dwelling unit
Visitor	Of the required parking for residential uses, 1.0 space per 7 dwelling units
<b>Commercial Uses</b>	
Commercial Uses	1.75 parking spaces per 100m <sup>2</sup> GFA
<b>Hotel Uses</b>	
Hotel	1.0 space per 1 sleeping unit

**Table 1.14.2: Loading Requirements**

<b>Commercial Uses</b>	
Commercial Uses, excluding retail liquor sales establishments and grocery stores exceeding 1,858m <sup>2</sup> (20,000 ft <sup>2</sup> )	1.0 space per building with a commercial use
Retail liquor sales establishment	1.0 space per retail liquor sales establishment
Grocery store exceeding 1,858m <sup>2</sup> (20,000 ft <sup>2</sup> )	2.0 spaces per grocery store exceeding 20,000 ft <sup>2</sup>
<b>Hotel Uses</b>	
Hotel	2.0 spaces per hotel

### 1.15 Other Regulations

- (a) Apartment housing and major group homes require access to grade separate from the commercial uses. In the case of elevator equipped buildings, uses can share elevators provided security measures are in place to restrict access to residential areas.
- (b) A minimum area of 6.0 m<sup>2</sup> of **private open space** shall be provided per **bachelor dwelling**, 10.0 m<sup>2</sup> of **private open space** shall be provided per 1 **bedroom dwelling**, and 15.0 m<sup>2</sup> of **private open space** shall be provided per **dwelling** with more than 1 **bedroom**.
- (c) The development of new **drive-in food services** is not a permitted form of development in this zone in areas located more than 40m from Harvey Avenue.
- (d) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development**, **yards**, projections into **yards**, accessory **development**, lighting, stream protection, etc.), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.

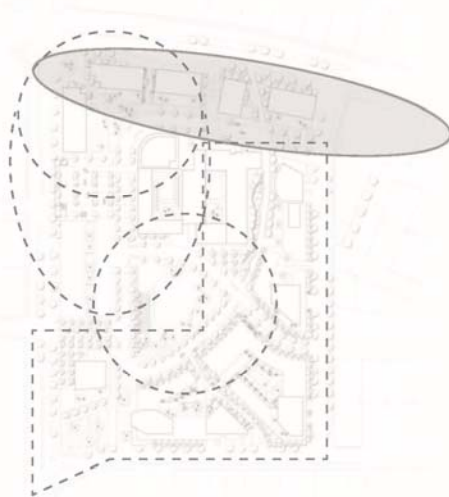
- (e) **Financial services** shall have a maximum total **gross floor area** of 500 m<sup>2</sup> unless a larger branch of the **financial services** establishment is located within the Downtown Urban Centre.

## Capri Centre Design Guidelines

Annexure 1  
CD 25 Development Area Guidelines



## Harvey Avenue Urban Edge



The above sketch indicates the general location of the "Harvey Avenue Urban Edge" area. The 3D view provides an illustrative example of where - based on this concept plan - the Harvey Avenue Urban Edge guidelines would apply. The actual boundary may vary by 20 to 30m but should include all buildings immediately adjacent to Harvey Avenue.

The "Harvey Avenue Urban Edge" character area creates an important urban interface between the Capri Centre and Harvey Avenue. A continuous streetwall condition will provide an edge to Harvey Avenue, helping to create a sense of enclosure along this broadly dimensioned corridor and define the public space. This character area will include lower form buildings and a range of retail, office, and residential uses. A portion of this area overlaps with the "Transit-Oriented Commercial Focus" character area.

### DESIGN GUIDELINES

#### Public Realm

- 1 The Harvey Avenue streetscape should be defined by generous sidewalks (approximately 3m) and broad landscape areas (approximately 5m - 8m).
- 2 North / south pedestrian connections shall be provided between buildings to provide visual and physical connections between Harvey Road and the interior portions of the site. Particular emphasis should be placed on a connection located approximately mid-block that provides a direct link to the entry of the hotel. Connections located closer to Gordon Drive should emphasize ease of pedestrian movement, anticipating high pedestrian volumes moving between transit services. Connections located further east on the site closer to Capri Street should emphasize landscape elements and serve as an initial component of a green link towards the Central Park.

- 3 Parking shall be located underground and driveway access shall be located off of an internal street (not Harvey Road) and care should be taken to minimize the visual impact of access points from the public realm.

#### Occupancies

- 4 Street level and second level units should include commercial uses such as retail or office. An emphasis should be placed on providing retail at street level to contribute to a more interesting streetscape. Above level 2, buildings may include office or residential uses.

#### Buildings' Relationship to the Street

- 5 All buildings should emphasize a high level of transparency at ground level achieved through extensive use of windows. Facades should incorporate - through articulation or change in materials - vertical delineation every 8m to 12m in order to facilitate the inclusion of small-scale retail tenants. Residential entries should be lit and well-signed.
- 6 Weather protection shall be provided along the face of buildings where retail is present. This cover may take the form of fabric awnings or fixed, metal and glass canopies. The minimum width of weather protection should be 1.5 to 2.0 metres with a ground clearance of 2.75 metres to the underside of the structure.

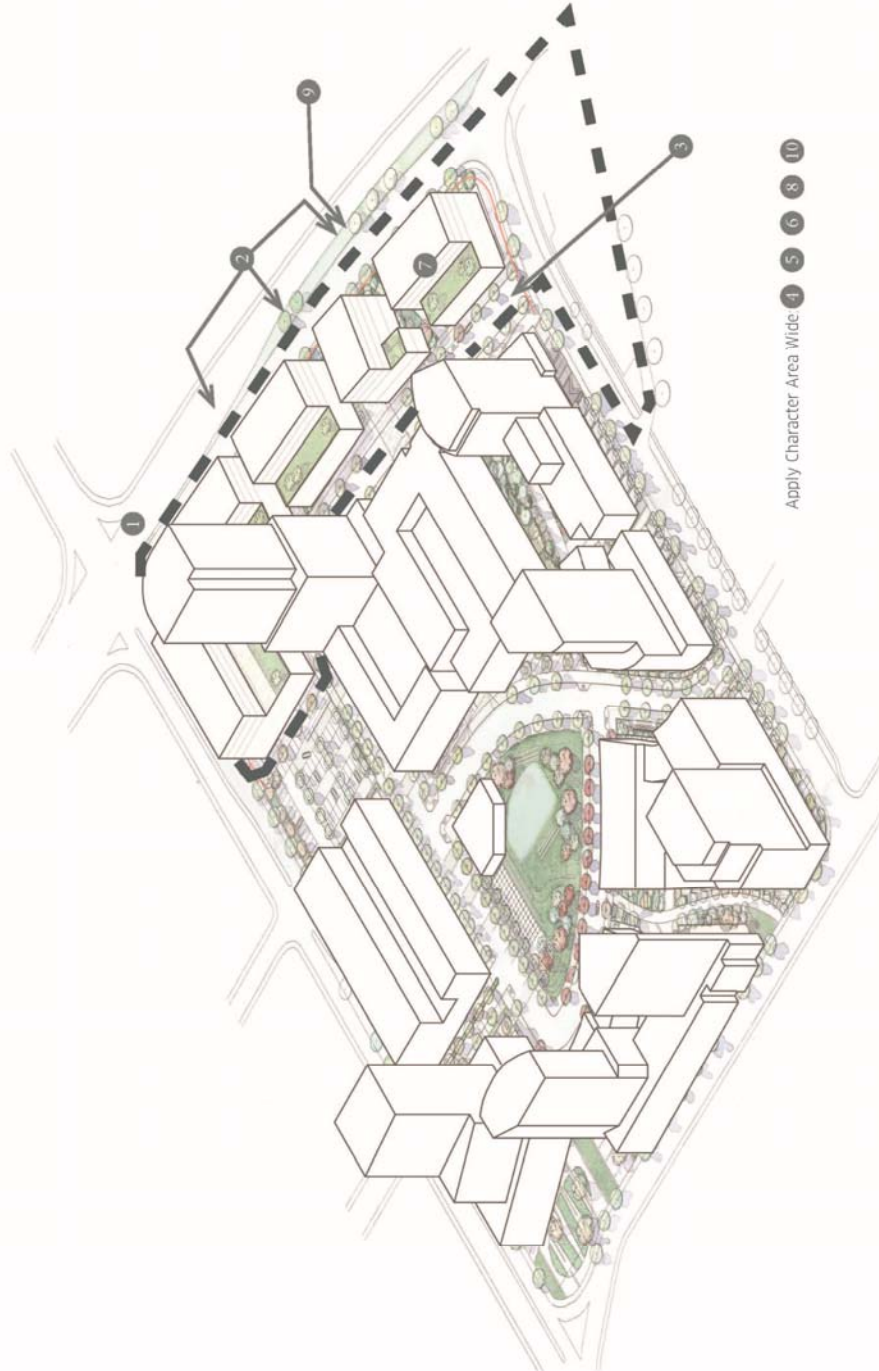
#### Building Massing

- 7 Buildings up to 6 stories are anticipated in this character area. To create a strong streetwall condition, upper level step backs are not required on the north-side of the buildings, though buildings should incorporate some articulation or texture through the use of recessed patios, balconies, vertical articulation of the facade. Upper level step backs are encouraged on the south side of the building providing an opportunity for rooftop access and open space.

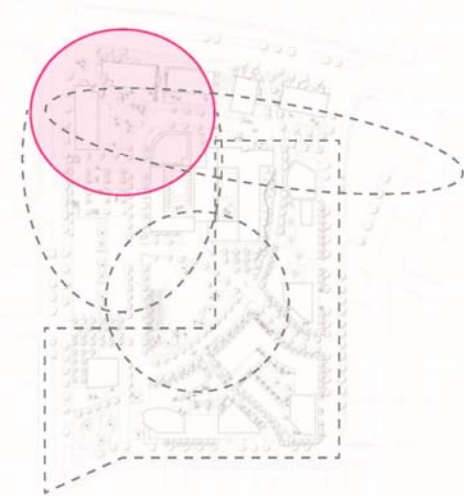
#### Landscape

- 8 Landscape design in this area should recognize the high volumes of pedestrian circulation. A range of surface materials may be deployed to signal traffic calm areas internal to the site where pedestrian and vehicle movements occur in close proximity. Sight lines between Harvey Avenue and the hotel as well as between Harvey Avenue and the proposed landmark tower should be retained, if possible, through the use of low-level landscaping or columnar - rather than large canopy - trees.
- 9 The pedestrian pathway linking Harvey Road to the "Central Park" along the crescent should include landscape elements that unite the park space with the crescent throughout the neighbourhood. Fruit trees are suggested.
- 10 Continuous street tree planting shall be provided.

# Harvey Avenue Urban Edge



## Transit-Oriented Commercial Focus



The above sketch indicates the general location of the "Transit-Oriented Commercial Focus" area. The 3D view provides an illustrative example of where - based on this concept plan - the Transit-Oriented Commercial Focus guidelines would apply. The actual boundary may vary by 20 to 30m

The "Transit-Oriented Commercial Focus" character area overlaps with both the Harvey Avenue Urban Edge and the "Commercial Core" areas. The guidelines outlined in each of those character areas apply but these additional guidelines are meant to encourage finer grained retail and enhanced pedestrian circulation at a level commensurate with being a transit interchange between two significant bus / bus rapid transit routes. In the case of conflict between guidelines, these guidelines supersede.

### DESIGN GUIDELINES

#### Public Realm

- 1 The Harvey Avenue and Gordon Drive streetscape should be defined by generous sidewalks capable of handling both pedestrian movements and transit stations (approximately 4m to 5m). Broad landscape areas are proposed further east along Harvey Avenue, but are of secondary importance within this area. Maintaining ease of pedestrian movement - both connecting transit riders, local residents, employees, and shoppers - is of primary importance. Consequently, large areas of hard surfaces (such as stone, concrete pavers or concrete) are anticipated, punctuated by landscape elements.
- 2 The prominence of the Harvey and Gordon intersection may warrant the placement of public art in this high visibility location.
- 3 Notwithstanding prioritizing pedestrian movements, space allocated adjacent to storefronts for the outdoor display of commercial products is encouraged.

- 4 The generous provision of seating areas - either as informal seating such as a planter box edges or through the provision of specific street furnishings - is encouraged.
- 5 Pedestrian pathways connecting Gordon Drive or Harvey Avenue to the interior of the site should be designed to have clear site lines and meet CPTED guidelines in terms of lighting.

#### Occupancies

- 6 Street level and second level units should include commercial uses such as retail or office. An emphasis should be placed on providing retail at street level and office above to contribute to a more interesting streetscape. Above level 2, buildings may include office or residential uses.

#### Buildings' Relationship to the Street

- 7 All buildings should emphasize a high level of transparency at ground level achieved through extensive use of windows. Facades should incorporate - through articulation or change in materials - vertical delineation every 8m to 12m in order to facilitate the inclusion of small-scale retail tenants. Residential entries should be lit and well-signed.
- 8 Robust weather protection shall be provided along building facades facing Harvey Avenue and Gordon Drive.
- 9 In this area, particular care should be given to contribute to a high level of transparency on all sides of buildings.

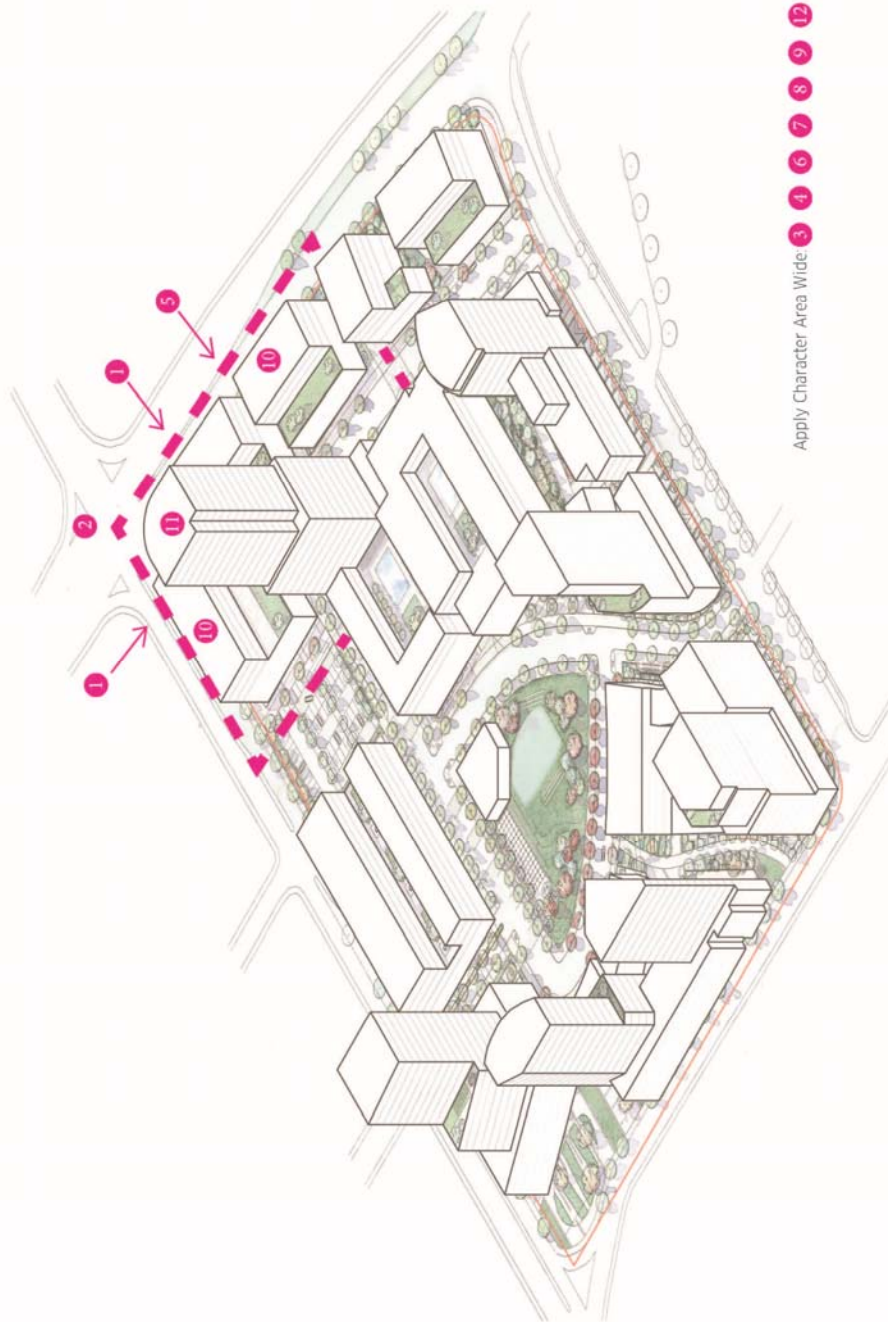
#### Building Massing

- 10 Buildings up to 6 stories are anticipated in this character area. To create a strong streetwall condition, upper level step backs are not required on the north-side of the buildings, though buildings should incorporate some articulation or texture through the use of recessed patios, balconies, vertical articulation of the facade. Upper level step backs are encouraged on the south side of the building providing an opportunity for rooftop access and open space.
- 11 One "landmark" tower of up to 26 storeys may be located in this area. The tower should have a strong vertical expression at the upper levels to provide design interest and, given its visual prominence, should include a distinctive "crown".

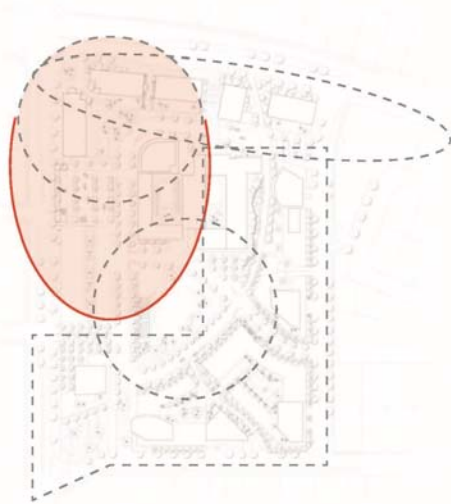
#### Landscape

- 12 Continuous street tree planting shall be provided.

## Transit-Oriented Commercial Focus



## Commercial Core



The above sketch indicates the general location of the "Commercial Core" area. The 3D view provides an illustrative example of where - based on this concept plan - the Commercial Core guidelines would apply. The actual boundary may vary by 20 to 30m.

The "Commercial Core" character area is the primary location for commercial shops and services at the Capri Centre. Commercial units ranging in size from supermarket to small-scale retail may be accommodated. Residential uses will also be present in this character area but, given the emphasis of commercial uses at street level, will largely be located at upper levels only. A portion of this area overlaps with the "Transit-Oriented Commercial Focus" character area.

### DESIGN GUIDELINES

#### Public Realm

- 1 Continuous street tree planting and generous sidewalk space should characterize the public realm. To provide adequate space for sidewalk cafe seating, the outdoor display of commercial goods, and higher volumes of pedestrian traffic, trees may be planted in tree wells and grates rather than boulevards.
- 2 Sidewalk corner bulges, clearly demarcated crosswalks, and other pedestrian safety measures shall be incorporated to contribute to ease of movement for all ages and abilities.
- 3 Parking shall be located underground and driveway access shall be located off of an internal streets (not off of Harvey Road or Gordon Drive). Care should be taken to minimize the visual impact of parkade access points from the public realm.

- 4 Serving a large grocer, the inclusion of one surface parking lot is anticipated in this area. The surface parking lot shall be treed. The use of special materials such as concrete pavers (rather than asphalt) is encouraged. To facilitate the transformation of the space into a weekend or evening public market, electric outlets shall be prevalent.

#### Occupancies

- 5 Street level or second level units should include commercial uses such as retail or office. An emphasis should be placed on providing retail rather than office at street level to a more interesting streetscape. Above level 2, buildings may include office or residential uses. For buildings located greater than 60m from Harvey Avenue, street level residential uses are acceptable.

#### Buildings' Relationship to the Street

- 6 All buildings should emphasize a high level of transparency at ground level achieved through extensive use of windows. Facades should incorporate - through articulation or change in materials - vertical delineation every 8m to 12m in order to facilitate the inclusion of small-scale retail tenants. Common residential entries should be lit and well-signed. Private residential entries (street level townhouses, for example) should be 3 to 5m away from the sidewalk to allow for patio space or landscape area and 0.75m to 1.25 m above street level.
- 7 Weather protection shall be provided along the face of buildings where retail is present. This cover may take the form of fabric awnings or fixed, metal and glass canopies. The minimum width of weather protection should be 1.5 to 2.0 metres with a ground clearance of 2.75 metres to the underside of the structure.
- 8 Buildings should be oriented towards the street and be located no more than 5m from the street edge to frame the public space and, in particular, create a sense of enclosure around the "market square" and "central park."

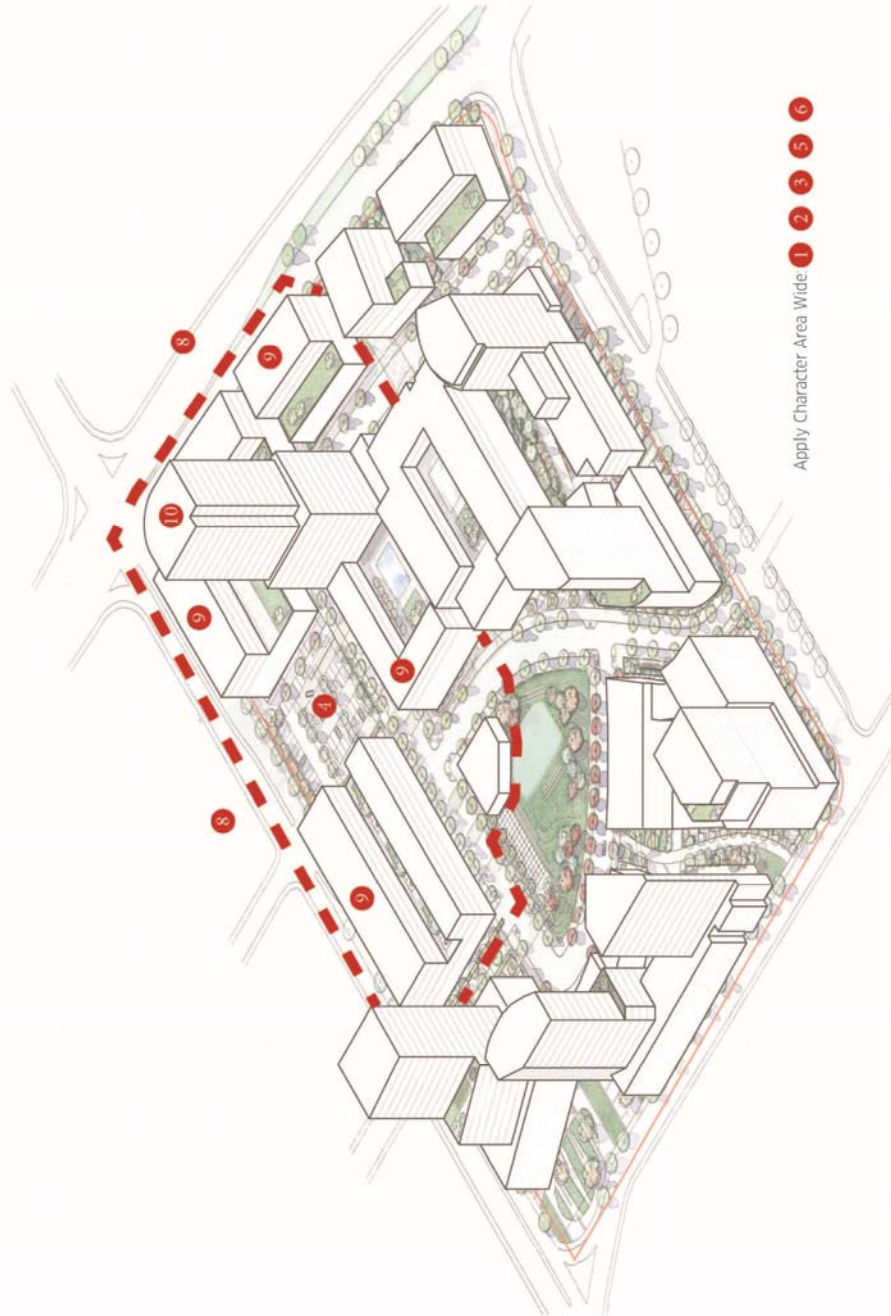
#### Building Massing

- 9 Buildings up to 6 stories are anticipated in this character area. To create a strong streetwall condition, upper level step backs are not required on the north-side of the buildings, though buildings should incorporate some of articulation or texture through the use of recessed patios, balconies, vertical articulation of the facade. Upper level step backs are encouraged on the south side of the building providing an opportunity for rooftop access and open space.
- 10 One "landmark" tower of up to 26 storeys may be located in this area, preferably in the overlap area with the "Transit-Oriented Commercial Focus." The tower should have a strong vertical expression at the upper levels to provide design interest and, given its visual prominence, should include a distinctive "crown". An additional tower - lower in height - may also be located in this character area away from Harvey Road.

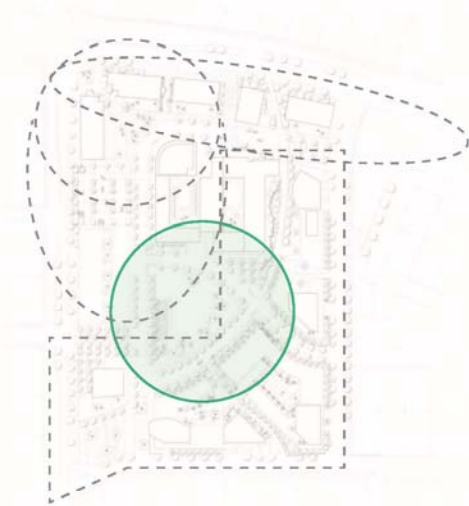
#### Landscape

- 11 Landscape design in this area should recognize the high volumes of pedestrian circulation. A range of surface materials may be deployed to traffic calm areas internal to the site where pedestrian and vehicle movements occur in close proximity. Sight lines between Harvey Avenue and the interior portion of the site should be retained, if possible, through the use of low-level landscaping or columnar - as opposed to large canopy - trees.

# Commercial Core



## Capri Central Park



The above sketch indicates the general location of the "Capri Central Park" area. The 3D view provides an illustrative example of where - based on this concept plan - the Capri Central Park guidelines would apply. The actual boundary may vary by 20 to 30m but should include the central park space, portions of the "Crescent" pedestrian linkage, and the front elevation of all podium elements of buildings that face onto the park.

The "Capri Central Park" character area is the proposed approximate location for a community open space to be used for gatherings and public events at all times of the year.

### DESIGN GUIDELINES

#### Public Realm

- 1 The public realm should be characterized by high quality and abundant landscape elements included in the park and ample pedestrian access.
- 2 The park space shall be designed to accommodate a variety of passive and active uses and give consideration to encouraging use at all times of year. An outdoor ice rink (winter) that doubles as an amphitheatre (summer) or performance space shall be constructed.
- 3 Though the site is currently relatively flat, subtle contours or mounds may be introduced to provide dimension to the space and create informal seating or play spaces.
- 4 The park shall be adjacent to the street on at least two sides to contribute to public access and high visibility.

- 5 A "Crescent" pedestrian linkage, incorporating similar landscape elements such as paving materials, street furnishing, and street trees, should extend from the Central Park north towards Harvey Avenue. Additional visual and pedestrian links will extend to nearby Capri Street, Sutherland Avenue, and Gordon Drive.

#### Occupancies

- 6 The "Central Park" area is a neighbourhood scale public space to be used by both residents and visitors to the Capri Centre. As it is expected to be generally surrounded by residential uses, the inclusion of a small-scale commercial retail or community building is encouraged.

#### Building's Relationship to the Street

- 7 The only building envisioned entirely within this area is a small scale commercial and / or community building. The primary orientation of the building shall be to the park space, though care should be taken to contribute to an interesting streetscape by minimizing the length of blank walls facing the streets and by providing a main entrance, well-lit and prominently addressed, towards one of the streets. Garbage and recycling facilities should be shared with a nearby building, if possible.
- 8 Residential buildings should be directly oriented to the park. This means that all ground level units should have direct access to the street. Balconies or Juliet balconies are strongly encouraged along all podium elements of buildings that face the park.

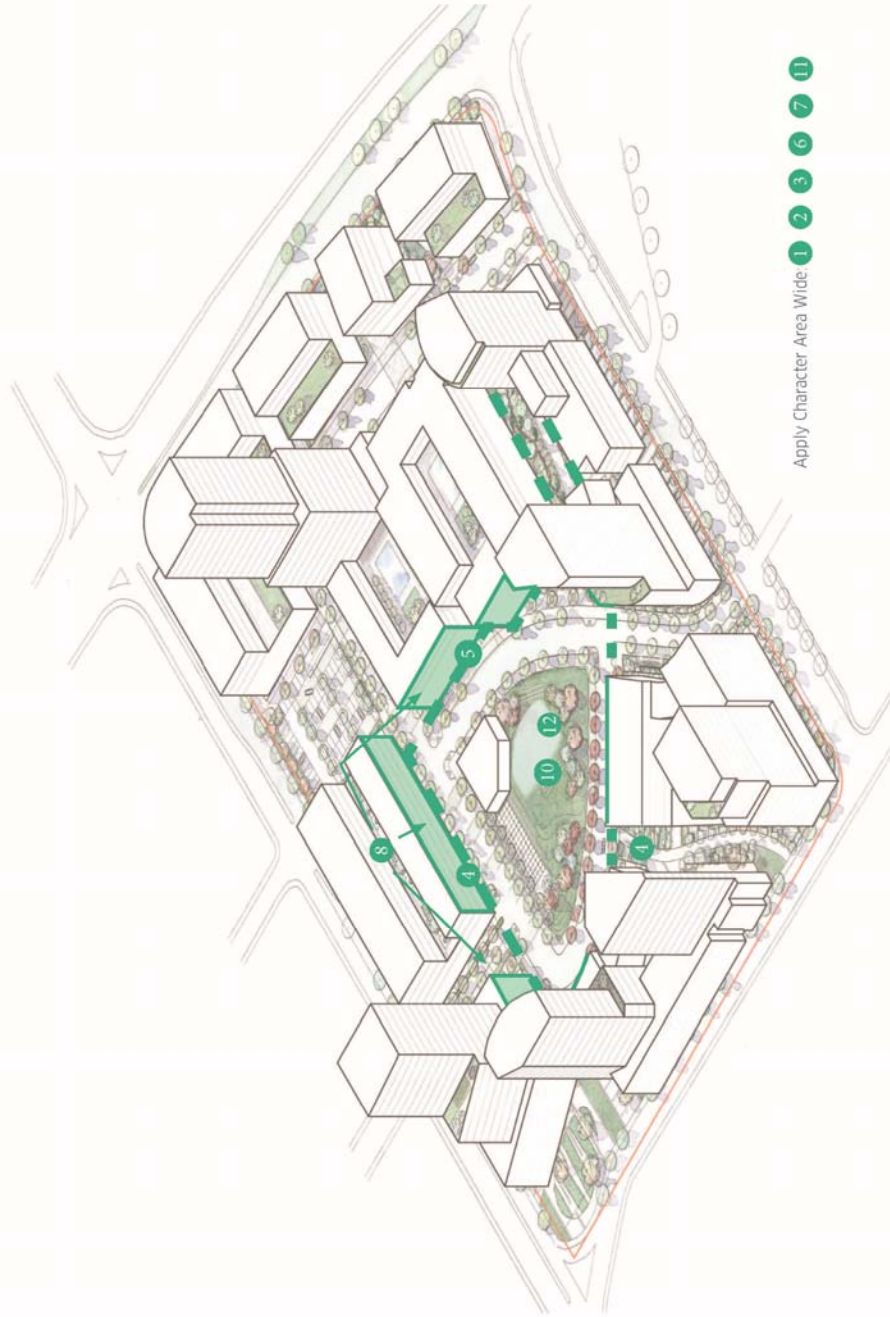
#### Building Massing

- 9 The community building within the park shall be no higher than two stories. In a two storey building, a portion of the second storey should be reserved as an outdoor patio.

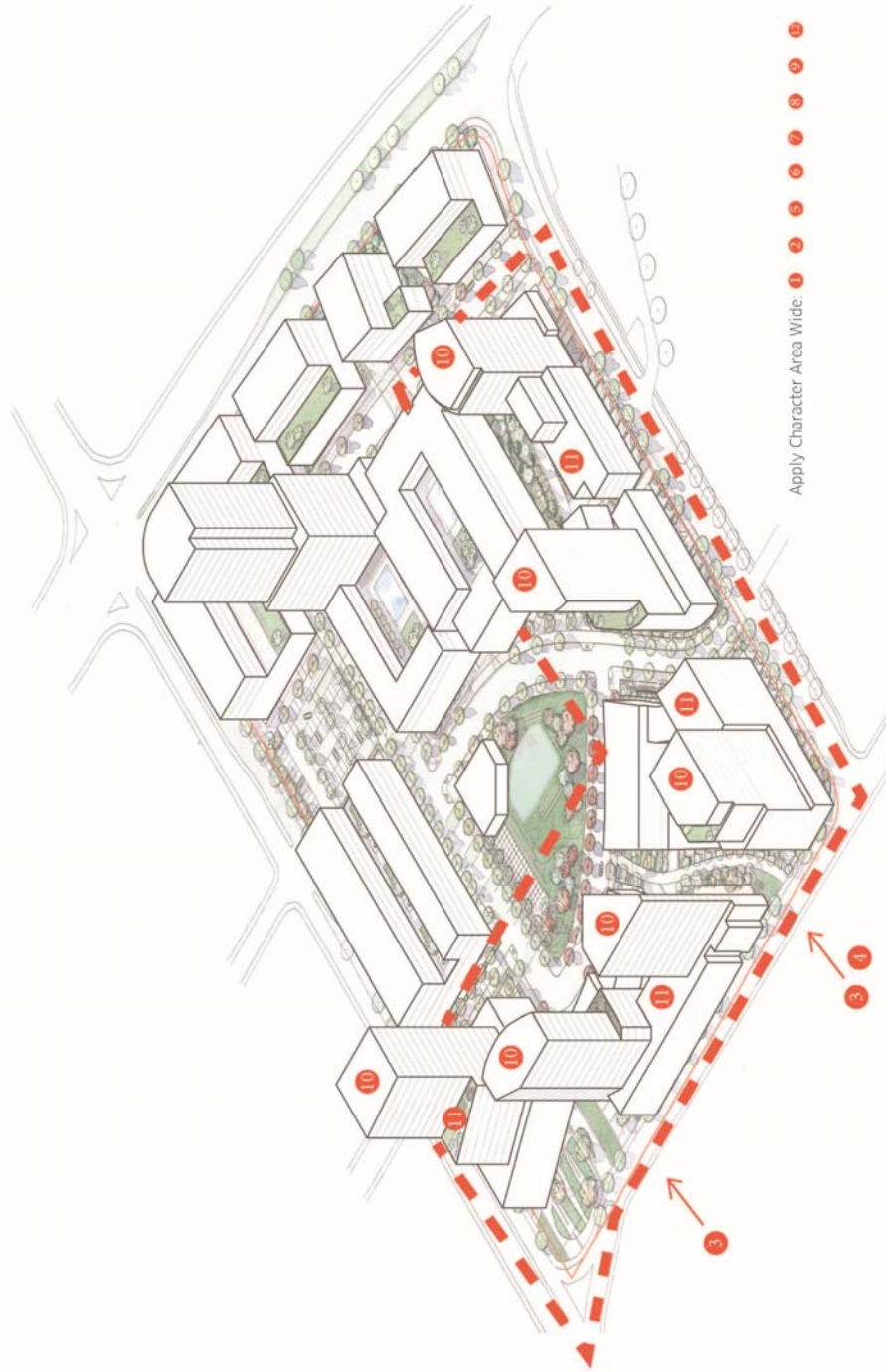
#### Landscape

- 10 Landscape should reinforce the role of the central park as a neighbourhood gathering space expected to attract people year round. Seasonal interest shall be considered in plant selection including fruit trees and plants with showy fall foliage. A selection of evergreen plants or plants with winter interest (bold branch structure, striking bark, or winter berries) shall also be incorporated.
- 11 Drought tolerant species are encouraged.
- 12 Though some hard surface areas are expected to facilitate outdoor seating, event space, or the ice rink, the emphasis on the park space should be on lush landscaping.

# Capri Central Park



## Residential Focus



**Schedule 'B' – Comprehensive Development Zones*****CD1 – Comprehensive Development One*****Sub-Section 1.2 – Principal Uses – BL8654****Sub-Section 1.3 – Secondary Uses – BL8654, BL10804****Sub-Section 1.5 – Development Regulations – BL8654****Sub-Section 1.6 – Other Regulations – BL9752****CD1 – Map 1 – BL9781*****CD2 – Kettle Valley Comprehensive Residential Development*****Sub-Section 1.2 – Principal Uses – BL8435, BL8960, BL10804, BL11138****Sub-Section 1.3 – Secondary Uses – BL8654, BL8881, BL9953, BL10804****Sub-Section 1.4 – Development Regulations – BL8435, BL10318, BL10804, BL11046****Sub-Section 1.5 – Other Regulations – BL8435, BL8881, BL9530, BL9953, BL10591, BL11046****CD2-Map 1 (page 12 of 17) – BL9924I; Map 1 (10 & 11 of 17) – BL10318; BL10699 Map 1 (1, 2, 3, 4, 5, 6, 7, 8, 10, 12 and 15 of 17), BL11046*****CD3 – Comprehensive Development Three – BL8449; BL11091 (deleted and replaced)*****Sub-Section 1.2 – Permitted Uses – BL8960, BL10804****Sub-Section 1.5 – Other Regulations – BL9530*****CD4 – Comprehensive Small Lot Residential*****Sub-Section 1.4 – Subdivision Regulation – BL10804****Sub-Section 1.5 – Development Regulations – BL11141****Sub-Section 1.6 – Other Regulations – BL8615, BL9120****CD4 – Map A – BL8615*****CD5 – Multi-Purpose Facility/CD5Ip – Multipurpose Facility (Liquor Primary) – BL8960*****Sub-Section 1.2 – Principal Uses – BL8960****Sub-Section 1.9 – General Regulations – BL9530*****CD6 – Comprehensive Residential Golf Resort/CD6Ip – Comprehensive Residential Golf Resort (Liquor Primary) – BL9860*****Sub-Section 1.3 – Secondary Uses – BL8654, BL8960, BL10804****Sub-Section 1.6 – Other Regulations – BL9530*****CD8 – Heritage Industrial/CD8Ip/rls – Heritage Industrial (Liquor Primary/Retail Liquor Sales) – BL8960*****Sub-Section 1.2 – Principal Uses – BL8654, BL8960****Sub-Section 1.6 – Other Regulations – BL9530*****CD9 – Heritage Commercial*****Sub-Section 1.2 – Principal Uses – BL8960****Sub-Section 1.3 – Secondary Uses – BL8654****Sub-Section 1.6 – Other Regulations – BL9530*****CD10 – Heritage Cultural*****Sub-Section 1.2 – Principal Uses – BL9771****Sub-Section 1.3 – Secondary Uses – BL8654, BL10796, BL10804****Sub-Section 1.6 – Other Regulations – BL9771*****CD12 – Airport/CD12Ip/rls – Airport (Liquor Primary/Retail Liquor Sales) – BL8367, BL8960*****Sub-Section 1.3 – Secondary Uses – BL8654, BL8960, BL10804****Sub-Section 1.6 – Other Regulations – BL8654, BL9530**

**Schedule 'B' – Comprehensive Development Zones Con't*****CD14 – Comprehensive High Tech Business Campus – BL8609*****Sub-Section 1.3 – Secondary Uses – BL8654, BL8960, BL10804****Sub-Section 1.6 – Other Regulations – BL9530****CD14 – Map A – BL9393, BL9983****CD14 – Map B – BL9393****CD14 – Map C – BL9983*****CD15 – Airport Business Park – BL9110*****Sub-Section 1.2.1 – Principal Uses – BL10208, BL10804****Sub-Section 1.2.2 – Principal Uses – BL9530****Sub-Section 1.8 – Other Regulations – BL9530****CD15 – Map 1 – BL9583, BL10224, BL10723****Sub-Section 1.2.1 – BL10833, BL11141*****CD16 – Bingo and Gaming – BL9238*****Sub-Section 1.6 – Other Regulations – BL9530 and BL11035****Map/Diagram added by BL11035*****CD17 – Mixed Use Commercial – High Density – BL9238*****Sub-Section 1.5 – Other Regulations – BL9530****Sub-Section 1.1 Principal Uses – BL11141*****CD18 – Vintage Landing Comprehensive Resort Development – BL9467, BL10098 and BL11012*****1.2(a) AREAL: Wellness Village Centre – BL10804, BL11141****1.2(d) AREA IV: Waterfront Resort Accommodations – BL10804****\*Note: BL10555 renamed this section to “McKinley Beach Comprehensive Development Zone – sections above will not apply accordingly to the new section.*****CD20 – Comprehensive University Development – BL9702******CD22– Central Green Comprehensive Development – BL10462*****Schedule 7 – CD22 Sub-Areas A&B Zoning – 7.3 Secondary Uses – BL10804, BL11118****Schedule 7 – CD22 Sub-Areas A&B Zoning – 7.5 Parcel Size – BL11118****Schedule 7 – CD22 Sub-Areas A&B Zoning – 7.6 Density – BL11118****Schedule 7 – CD22 Sub Areas A&B Zoning – 7.9 Setbacks – BL11118****Schedule 8 – CD22 Sub-Areas C&G Zoning – 8.1 Permitted Uses – BL10804, BL11118****Schedule 8 – CD22 Sub-Areas C&G Zoning – 8.3 Density – BL11118****Schedule 8 – CD22 Sub-Areas C&G Zoning – 8.6 Setbacks – BL11118****Schedule 9 – CD22 Sub-Area D Zoning – 9.1 Permitted Uses – BL10804, BL11118****Schedule 9 – CD22 Sub-Area D Zoning – 9.3 Density – BL11118****Schedule 10– CD22 Sub-Areas E&F Zoning – 10.1 Secondary Uses – BL10804****Schedule 11– CD22 Sub-Area H Zoning – 11.1 Secondary Uses – BL10804****Schedule 12– CD22 Sub-Area I Zoning – 12.1 Secondary Uses – BL10804****Annexure 1 – Central Green Development Permit Area Guidelines – BL11118*****CD23 – Public Market and Open Air Market Zone BL10635******CD24–Comprehensive Development BL10812******CD25–Comprehensive Development - Light Industrial – Residential Mixed Use - BL11100*****CD25-Comprehensive Development - Capri Centre -BL10998**